



Design Review Board Staff Report

TO: DESIGN REVIEW BOARD

FROM: NATHAN WILLIAMS, PLANNER II *NW*
(480) 503-6805, NATHAN.WILLIAMS@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *cl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: JULY 10, 2014

SUBJECT: DR14-16, HAMPTON INN & SUITES, LOCATED AT THE
SOUTHEAST CORNER OF HIGLEY ROAD AND INVERNESS
AVENUE.

STRATEGIC INITIATIVE:	Economic Development
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The proposal will allow for a 101 room, 5-story hotel on a gateway corner in the Town of Gilbert in the Regional Commercial (RC) zoning district.

REQUEST

DR14-16: Hampton Inn & Suites: final site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for Hampton Inn & Suites and preliminary site plan for a future retail/ office pad, on 4.8 acres located at the southeast corner of Higley Road and Inverness Avenue and zoned Regional Commercial (RC) zoning district.

RECOMMENDED MOTION

Move to approve the Findings of Fact and approve DR14-16, Hampton Inn & Suites: final site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for Hampton Inn & Suites, and preliminary site plan for a future retail/ office pad, on 4.8 acres

located at the southeast corner of Higley Road and Inverness Avenue and zoned Regional Commercial (RC) zoning district, subject to conditions.

APPLICANT/OWNER

Company:	Pathangay Architects		
Name:	Navin Pathangay	Name:	Nirav Patel
Address:	4545 N. 36 th St., Suite #202 Phoenix, AZ 85018	Address:	808 N. Scottsdale Rd. Tempe, AZ
Phone:	602-368-9375	Phone:	480-858-9898
Email:	navin@pathangayarchitects.com	Email:	N/A

BACKGROUND/DISCUSSION

History:

Date	Action
<i>September 1, 1998</i>	The Town Council approved Z98-15 (Ord. No. 1117) to rezone the site to C-2 PAD zoning district.
<i>January 8, 2008</i>	The Town Council approved Z07-57 (Ord. No. 2111) to rezone a portion of the site to Regional Commercial (RC) zoning district.
<i>October 9, 2008</i>	The Design Review Board approved DR08-58 for the Gateway Village Corporate Center south of the subject site with preliminary site plan approval of the overall Gateway Village Corporate Center including the subject site. This application has since expired.
<i>June 12, 2014</i>	DR14-16 was reviewed at the DRB Study Session.

Overview:

The subject site consists of 4.8 acres located at the southeast corner of Higley Road and Inverness Avenue. The project proposes final approval of a new Hampton Inn & Suites Hotel on the southern portion of the subject site and preliminary site plan approval of a future 5,620 sq. ft. office building to be located on the northwestern portion of the overall subject site. The proposed hotel building will consist of a 5-story (66' high), 101 room hotel building with a pool and outdoor amenities. The site improvements proposed under DR14-16 for the hotel and site infrastructure including parking and landscaping will be developed in one phase on the subject site. The future retail/ office pad will be left vacant until a user is determined, at which time the building design and architecture will require formal Design Review Board approval.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Category	Existing Zoning
North	Regional Commercial (RC)	Inverness Avenue then Regional Commercial (RC)
South	Regional Commercial (RC)	Regional Commercial (RC)

	Existing Land Use Category	Existing Zoning
East	City of Mesa – Multi-Residential	City of Mesa - Multi-Residential (RM-3)
West	Regional Commercial (RC)	Higley Road then Regional Commercial (RC)
Site	Regional Commercial (RC)	Regional Commercial (RC)

This project has been reviewed under the Regional Commercial (RC) zoning district and the Vertical Overlay Zoning District (Area 1) development regulations of the Land Development Code (LDC):

Development Standard	Proposed Development	Regional Commercial (RC) Requirements
Building Area:	65,525 sq. ft. – Hampton Inn & Suites <u>5,620 sq. ft. – Future Office/Retail PAD</u> 71,145 sq. ft. - Total	No maximum requirement
Site Area	4.8 gross acres	No minimum requirement
Lot Coverage:	45%	No maximum requirement
Parking:	146 total parking spaces 3 passenger drop-off/ loading spaces	135 parking spaces 3 passenger drop-off/ loading spaces
Landscape Area	30% (46,660 sq. ft.) of the net lot area	15% minimum requirement of the net lot area
Building Height:	60' - 66' / 5-stories	<u>Site located within the Vertical Development Overlay District (Area 1):</u> Base Height/ Stories – 90' / 6

DISCUSSION

Site

The 4.8 acre Regional Commercial site contains two (2) existing right-in, right out access points, with one from Higley Road to the west and the other from Inverness Avenue to the north. The site plan proposes two (2) internal vehicular access points to the south side of the site to coordinate with future development. Traffic Engineering Department has indicated that the site access, vehicle circulation and drive-through lane are satisfactory. The applicant is coordinating with the Town Engineer to determine the connection of utilities. The proposed hotel building will have the front elevation facing north toward Inverness Avenue with the side portion of the building oriented toward Higley Road to the west. The proposed porte-cochere is located on the north building elevation and the proposed pool and outdoor amenities area are located on the south building elevation.

Landscape

The Landscape Plan provides adequate intensity of landscape with the required landscape areas on the perimeter of the subject site on all four sides. The Landscape Plan also meets all the needs of on-site parking landscaping and will provide foundation landscaping around the building on all four sides of the building and pool area. The landscape area provides 46,660 sq.

ft. (30%) of open space where 15% of the net area is required. Landscaping is reasonable in these areas to help buffer the building from the adjacent streets and existing and future development to the east and south respectively. The plan as proposed will coordinate with the landscaping proposed along the southern property line of the subject site. Trees include Shoestring Acadia, Queen Palm, Desert Museum, Sisso, Swan Hill Olive, Phoenix Mesquite and Desert Willows.

Elevations

The building elevations submitted include three (3) main EFIS colors, which have been revised from the applicant's original submittal to now consist of Sherwin Williams "Earthen Jug" "Oak Creek" and "Egret White" with smooth finish EIFS system.

Additionally, there will be a significant use of a revised accent material, which will now consist of an Alabaster veneer. This material will be used to coordinate with the more modern architecture of the Banner Gateway Medical Center as well as the Marriot Residence Inn on the west side of Higley Road. The new Alabaster veneer will be used in varying heights along the first and second floor building elevations to break up the verticality of the building and provide a more pedestrian scale to the building. The Alabaster veneer will also be used on the columns of the porte-cochere, as well as at the entry features, which reach from grade to the top of the building.

The front elevation is somewhat asymmetrical with the front entrance located slightly more to the east. The southern elevation articulation is enhanced by placing the pool area and other outdoor amenities with covered patio on this side of the building. The roofline varies and some massing changes are apparent in the foot print of the building. The glazing (windows) is systematically distributed on the north and south elevations. The windows are flush and vary in size from 4'x5' to 5'x5' to 7'x5' over the front entry of the building.

Grading and Drainage

The site will employ existing on-site retention basins on the eastern side of the site in the turf area as well on the sides of perimeter landscape areas. The proposed grading and drainage plan for the site meets the development requirements for the Town of Gilbert's Engineering Department.

Signage

Signage is not being evaluated as part of this submittal. The project will be required to adhere to the commercial sign regulations of the Land Development Code (LDC) when obtaining the proper building permits.

Lighting

The photometric plan proposed demonstrates compliance with the LDC requirements of a maximum of 0.3 foot-candles at the property line, not including street lighting and consist of both pole-mounted lighting and wall lighting. All site lighting will be required to comply with Town codes.

COMMENTS FROM THE 6/12/2014 DRB STUDY SESSION

1. Concerned with scale of the building and if the Commercial Design Guidelines are being used - mass and design is lacking, not enough horizontal, windows are flat –
 - a. *The applicant notes that the elevations have been redesigned based upon DRB and staff review comments, utilizing examples from the Banner Gateway Medical Center and Marriot Residence Inn across Higley Road. A third color of EIFS has been incorporated to improve the emphasis between massing elements and the stacked stone veneer revised to a more modern Alabaster veneer with more horizontal and pedestrian scale massing to break up the verticality of the 5-story building.*
2. Verticality needs to be broken-up, stone doesn't need to go up to the roof line, maybe introduce a third option--maybe a color, it needs a distinctive quality, maybe play on the windows, another shape? it looks prominently vertical –
 - a. *The applicant has incorporated a new stone veneer revised to a more modern Alabaster veneer with more horizontal and pedestrian scale massing to break up the verticality of the 5-story building. The taller parapet caps have also been accentuated horizontally.*
3. The photo of the built example shows sills and caps around the windows, the stone on the proposal doesn't have any definition, windows need to have some depth –
 - a. *The applicant notes that redesign is inspired by contextual building examples and window conditions with a third color choice now provided. The new Alabaster veneer is utilized to relate to contextual aesthetics and the material palette of surrounding prominent buildings.*
4. The elevations do not appear to meet the commercial design guidelines, the window sizes on the photo, the proposed windows look taller and thinner, massing both horizontal and vertical are not there. There is a need to have this hotel be in the same caliber as the other approved hotels.
 - a. *The applicant notes that the building elevations have been redesigned to appear more cohesive with its surroundings. Horizontal elements (Alabaster veneer, veneer cap, top of parapet wall caps) have been incorporated to balance between horizontal and vertical, while the overall palette is influenced by contextual examples. The redesign of the elevations is focused on massing, color and texture changes, parapet accents, providing for more pedestrian scale and window treatments.*

The applicant has incorporated design changes based upon the Design Review Board comments from the 6/12/2014 Study Session and staff review comments. The building architecture and design meets the Commercial Design Guidelines with regard to the building elevations, which include the following:

Massing:

- Building elements should be broken into smaller elements, consistent with proportions of the architectural style selected and surrounding uses.
- Reduction of building mass may be achieved by using a combination of the following techniques:
 - Variation in the rooflines and form.
 - Use of ground level arcades and covered areas.
 - Use of protected and recessed entries.
 - Use of vertical elements on or in front of expansive blank walls.
 - Use of pronounced wall plane offsets and projections.
 - Use of focal points and vertical accents.
 - Inclusion of windows on elevations facing streets and pedestrian areas.
 - Retaining a clear distinction between roof, body and base of a building.

Design:

- Building elevations should incorporate architectural features and patterns that include a pedestrian scale.
- For all buildings at least two of these elements should repeat horizontally. Buildings with facades greater than 100 feet in length should include several of the elements listed below, repeated at appropriate intervals, either horizontally or vertically:
 - Color change. Recognizable, but not strongly contrasting.
 - Texture change.
 - Material change.
 - Architectural variety and interest through a change in plane such as offsets, reveals, archways or projecting ribs.
 - Wall plane projections or recesses.
- Solid and Soft or Open areas of the façade should be arranged to create a relationship that complements the architectural style of the structure. Soft or open building elements include windows, entryways, arbors, porches, arcades, etc.
- Predominant facade colors should possess low reflectivity characteristics, and respect the diversity of color in the southwest. The use of bright color schemes should be justified by the overall design, and may not be appropriate in many contexts.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code Article 5.205.

Staff has received no comments from the neighboring property owners at the time this report was written.

STAFF RECOMMENDATION

Approve of the Findings of Fact and approve DR14-16: Hampton Inn & Suites: final site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for

Hampton Inn & Suites and preliminary site plan for a future retail/ office pad, on 4.8 acres located at the southeast corner of Higley Road and Inverness Avenue and zoned Regional Commercial (RC) zoning district, subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Design Review Board at the July 10, 2014 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.

Respectfully submitted,



Nathan Williams
Planner II

Attachments:

1. Findings of Fact
2. Notice of Public Hearing Map
3. Aerial
4. Color Elevations and Colors/ Materials (3 pages)
5. Hampton Inn & Suites 3D Rendering
6. Grading and Drainage Plan (3 pages)
7. Landscape Plan (2 pages)
8. Site Plan
9. Floorplans (6 pages)
10. Enlarged Pool Area and Site Details
11. Lighting Plans
12. Samples/ Photos of Existing Hampton Inn Buildings (6 pages)

FINDINGS OF FACT

**DR14-16 – Hampton Inn & Suites,
Located at the southeast corner of Higley Road and Inverness Avenue.**

1. The project is consistent with the Commercial Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby residential development; and
5. The project design provides for safe and efficient provision of public services.

Notice of Public

DR14-16

Attachment 2: Notice of Public Hearing Map
July 10, 2014

DESIGN REVIEW DATE:

Thursday, July 10, 2014* TIME: 5:30 PM

LOCATION: Gilbert Municipal Center, Council Chambers
50 E. Civic Center Drive
Gilbert, Arizona 85296

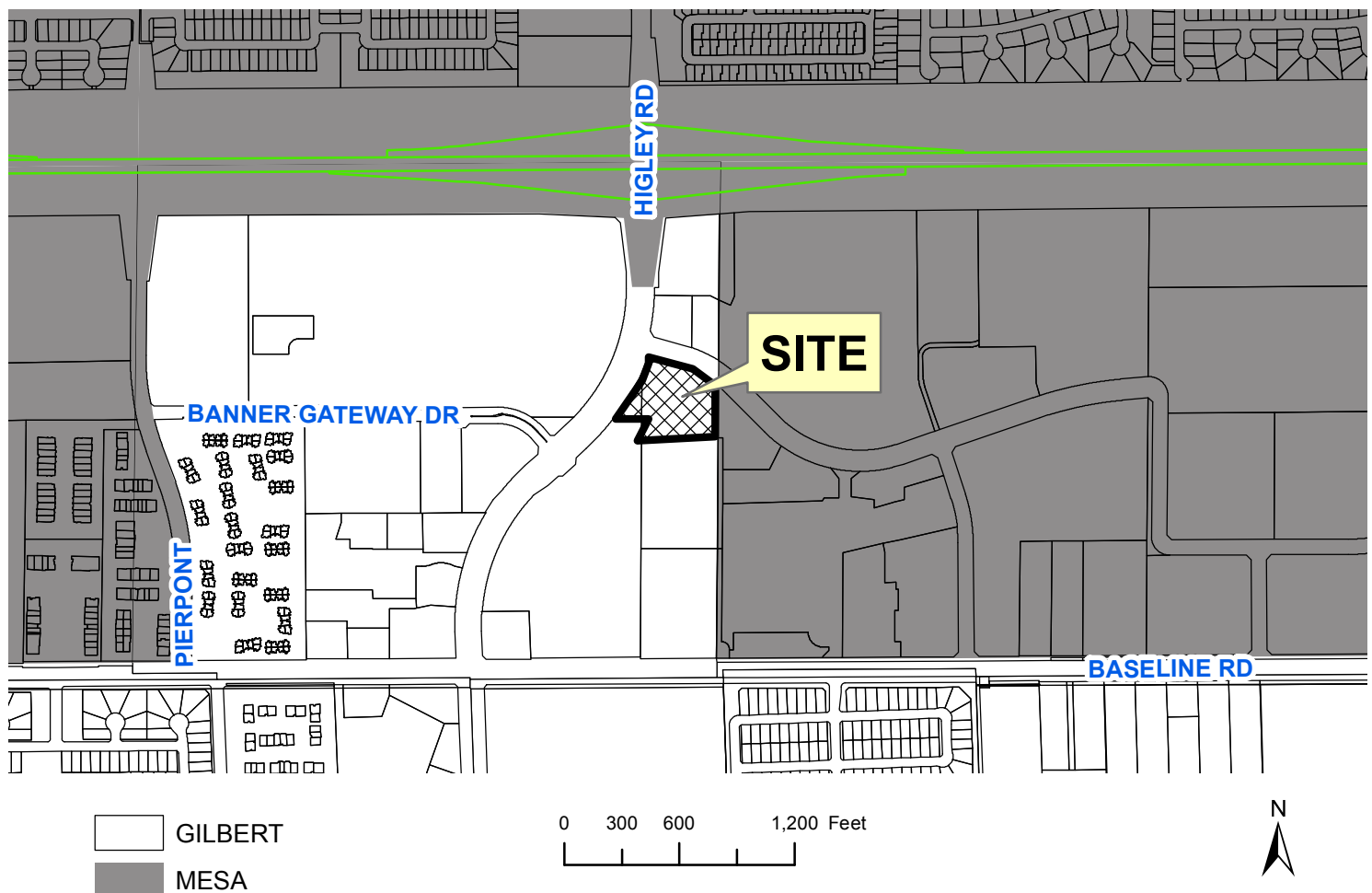
*** Call Planning Department to verify date and time: (480) 503-6700**

REQUESTED ACTION:

DR14-16: Hampton Inn & Suites: approval of the final site plan, landscape plan, grading and drainage, lighting, building elevations, colors and materials for Hampton Inn & Suites, and preliminary site plan for a future retail/ office pad, all located at the southeast corner of Higley Road and Inverness Ave. The subject site is located on 4.8 acres and zoned Regional Commercial (RC) zoning district.

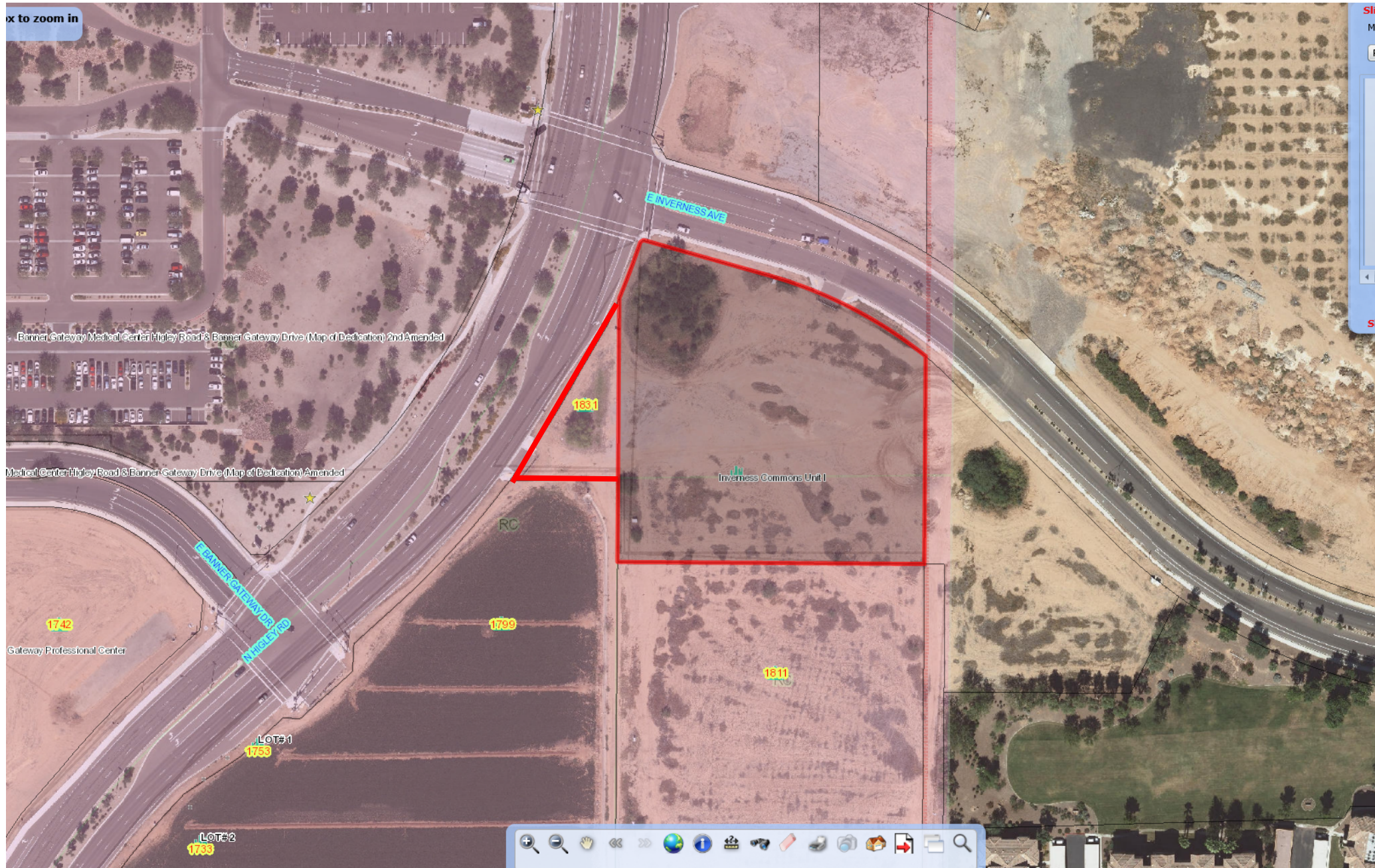
* The application is available for public review at the Town of Gilbert Development Services division Monday - Thursday 7 a.m. - 6 p.m. Staff reports are available the Monday prior to the meeting at <http://www.gilbertaz.gov/departments/development-services/planning-development/design-review-board>

SITE LOCATION:



APPLICANT: Pathangay Architects
CONTACT: Navin Pathangay
ADDRESS: 4545 North 36th Street, Suite 202
Phoenix, AZ 85018

TELEPHONE: (602) 368-9375
E-MAIL: navin@pathangayarchitects.com



HAMPTON INN AND SUITES
1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

**DR14-16 DRB
2ND SUBMITTAL**

PHOENIX EAST MESA, AZ
PROJECT NUMBER: 14-018
FACILITY I.D.: 47247
INN CODE: PHXEM

**BUILDING ELEVATIONS
NORTH & SOUTH SIDES**

A1.13

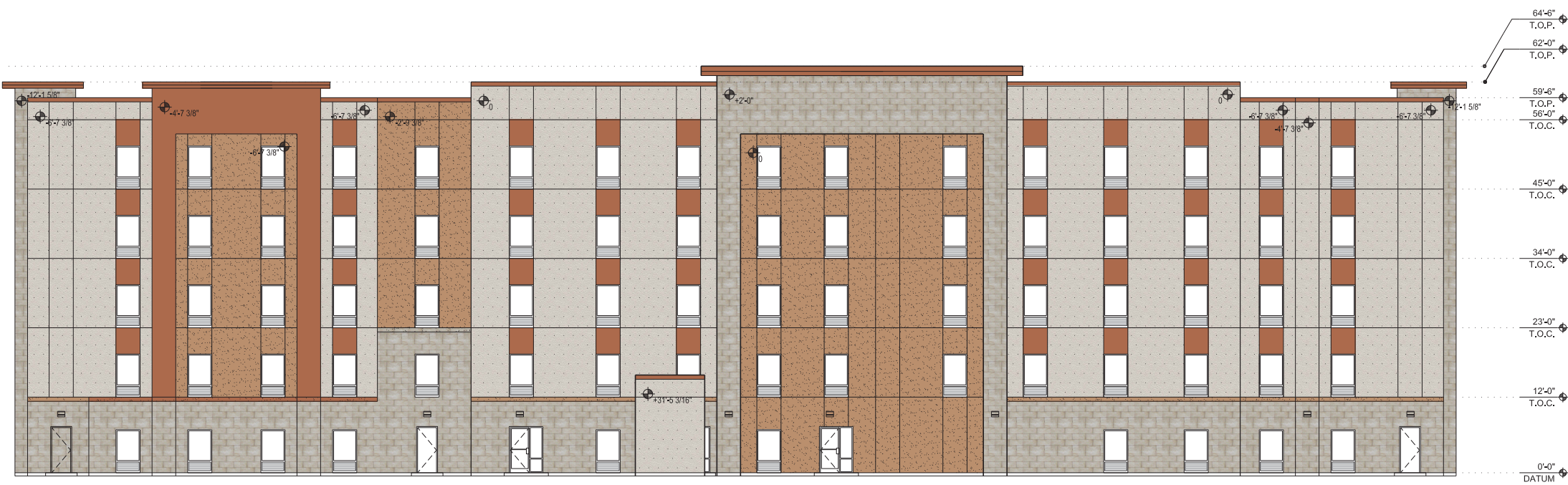
DATE: 6/23/2014
PROJECT NUMBER: 2013-23

- KEY NOTES:
1. ROOF SCUPPER
 2. CONTROL JOINT, (TYP)
 3. SIGNAGE - COORDINATE ELECTRICAL REQUIREMENTS AS NEEDED - REFER TO 'BUILDING SIGNAGE' BELOW
 4. EXTERIOR INSULATION FINISH SYSTEM
 5. PRE-FINISHED ALUMINUM WINDOWS AND LOUVERS, THERMALLY BROKEN FRAME, KYNAR 500 FINISH, (TYP)
 6. ALUMINUM STOREFRONT, THERMALLY BROKEN FRAME, KYNAR 500 FINISH, (TYP)
 7. PRE-FINISHED METAL LOUVERS AT DRYER VENTS, KYNAR 500 FINISH, (TYP)
 8. AUTOMATIC SLIDING DOORS
 9. EXTERIOR WALL SCONCE, REF ELEC (TYP)
 10. INSULATED HOLLOW METAL DOOR AND FRAME
 11. CLEARANCE SIGN
 12. SLOPE DRIVE 1:48 MAX (1:64 RECOMMENDED) TO DRAIN OUT FROM UNDER CANOPY
 13. PROVIDE EXTERIOR LOUVERS TO MATCH LOOK OF PTAC-BASED WINDOWS, PROVIDE INSULATED PANEL BEHIND LOUVER AT NON-PTAC LOCATIONS, (TYP)
 14. GUEST LAUNDRY THRU WALL VENT FOR OPTIONAL LAUNDRY IF USED
 15. HARD SURFACE BASE MATERIAL (MASONRY/TILE)
 16. FLAT ROOF ABOVE SMOKING AREA
 17. WELCOME SIGNAGE - REFER TO GLOBAL EXTERIOR SIGNAGE SPECIFICATIONS FOR ADDITIONAL INFORMATION

- BUILDING SIGNAGE
1. ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
 2. MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
 3. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.
 4. RACEWAYS / WIREWAYS ARE NOT ALLOWED
 5. PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
 6. GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

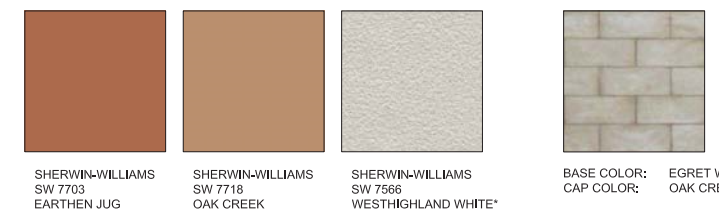
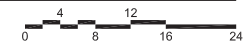
- COLOR & FINISH LEGEND
- | | |
|--|--|
| | ALABASTER VENEER -
BASE COLOR: EGRET WHITE
CAP COLOR: EARTHEN JUG |
| | EIFS FINISH - COLOR: SHERWIN
WILLIAMS - WESTHIGHLAND
WHITE - SW 7570 |
| | EIFS FINISH - COLOR: SHERWIN
WILLIAMS - OAK CREEK -
SW 7718 |
| | EIFS FINISH - COLOR: SHERWIN
WILLIAMS - EARTHEN JUG -
SW 7703 |
- NOTE:**
REFER TO HAMPTON'S FOREVER YOUNG INITIATIVE EXTERIOR GUIDE FOR ADDITIONAL COLOR AND FINISH INFORMATION

- GENERAL NOTES:
1. ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS, CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS
 2. DO NOT EXCEED (5) STRUCTURAL BAYS WITHOUT INTRODUCING A VERTICAL ELEMENT (I.E. BUILDING OFFSET, PILASTER, ETC.)



EXTERIOR ELEVATION - SOUTH

1/8" = 1'-0"



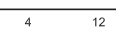
SMOOTH FINISH EIFS SYSTEM
* WITH EIFS TEXTURE

ALABASTER VENEER



EXTERIOR ELEVATION - NORTH

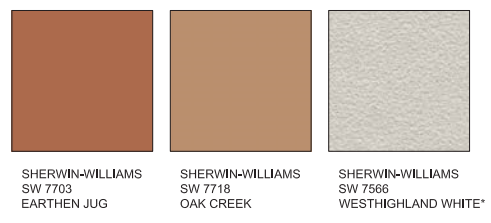
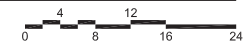
1/8" = 1'-0"





EXTERIOR ELEVATION - WEST

1/8" = 1'-0"



SMOOTH FINISH EIFS SYSTEM
* WITH EIFS TEXTURE

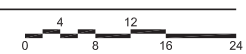


ALABASTER VENEER



EXTERIOR ELEVATION - EAST

1/8" = 1'-0"



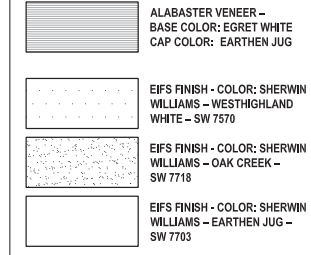
KEY NOTES:

1. ROOF SCUPPER
2. CONTROL JOINT, (TYP)
3. SIGNAGE - COORDINATE ELECTRICAL REQUIREMENTS AS NEEDED - REFER TO 'BUILDING SIGNAGE' BELOW
4. EXTERIOR INSULATION FINISH SYSTEM
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COLOR & FINISH LEGEND



NOTE:
REFER TO HAMPTON'S FOREVER YOUNG INITIATIVE EXTERIOR GUIDE FOR ADDITIONAL COLOR AND FINISH INFORMATION

GENERAL NOTES:

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HAMPTON INN AND SUITES
1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

DR14-16 DRB
2ND SUBMITTAL

KEY:

PHOENIX EAST MESA, AZ
PROJECT NUMBER: 14-018
FACILITY I.D.: 47247
INN CODE: PHXEM

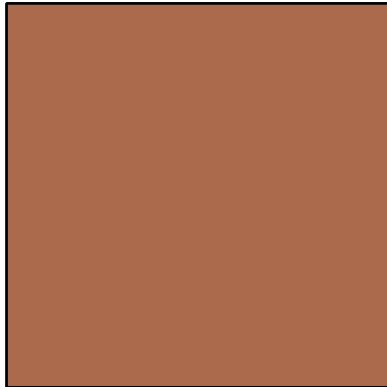
SHEET TITLE:

BUILDING ELEVATIONS
WEST & EAST SIDES

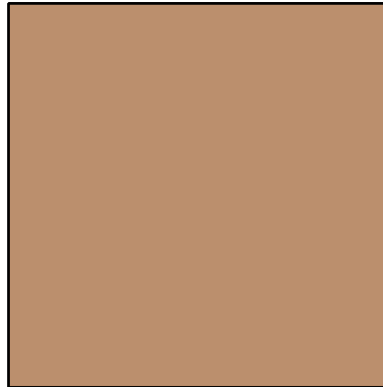
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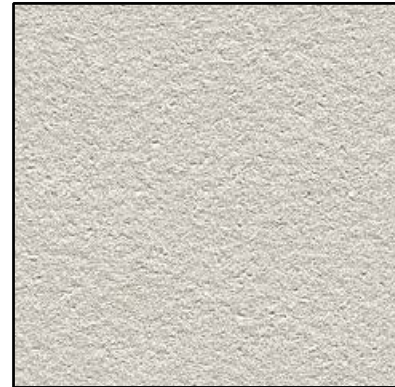
DRAWN BY:	TM	REVIEWED BY:	NP
DATE:	6/23/2014	PROJECT NUMBER:	2013-23



SHERWIN-WILLIAMS
SW 7703
EARTHEN JUG



SHERWIN-WILLIAMS
SW 7718
OAK CREEK



SHERWIN-WILLIAMS
SW 7566
WESTHIGHLAND WHITE*

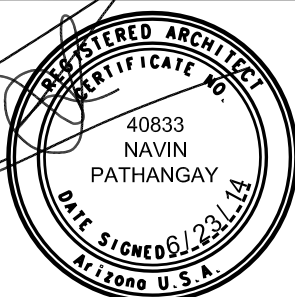
SMOOTH FINISH EIFS SYSTEM

* WITH EIFS TEXTURE



BASE COLOR: EGRET WHITE
CAP COLOR: OAK CREEK

ALABASTER VENEER



EXPIRES 6/30/2016

DRAWING DESCRIPTION:

COLOR/ MATERIAL BOARD

HAMPTON INN AND SUITES

1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

© COPYRIGHT 2014
PATHANGAY ARCHITECTS, LLC



pathangay architects
4545 NORTH 36TH STREET - SUITE 202
PHOENIX ARIZONA 85018
(P) 602-368-9375 (F) 602-368-9380

SCALE: NTS DATE: 6/23/14

REFERENCE SHEET: PROJECT NUMBER:
2013-23

SHEET NUMBER:
SP-01



DR14-16
Attachment 5: Hampton Inn & Suites 3D Rendering
July 10, 2014

HAMPTON INN AND SUITES
1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

DR14-16 DRB
2ND SUBMITTAL

KEY:	
PHOENIX EAST MESA, AZ PROJECT NUMBER: 14-018 FACILITY I.D.: 47247 INNCODE: PHXEM	
SHEET TITLE:	
3-D BUILDING RENDERING FROM NORTHWEST	
SHEET NUMBER:	
SP.02	
DRAWN BY:	REVIEWED BY:
MB	NP
DATE:	PROJECT NUMBER:
6/23/2014	2013-23

PARCEL & SITE ADDRESS

APN 141-53-512A
MILAN ENTERPRISES LLC
ZONING: RC

GENERAL NOTES

- ALL DESIGN AND CONSTRUCTION MUST BE IN ACCORDANCE WITH THE UNIFORM STANDARD SPECIFICATIONS AND DETAILS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE TOWN OF GILBERT.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF GILBERT ENGINEERING DEPARTMENT AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF ANY CONSTRUCTION OF INSPECTION. CALL (480) 503-6847.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT AND COORDINATE WITH THE LOCAL UTILITY PROVIDERS TO ENSURE THAT DRIVEWAYS ARE NOT INSTALLED IN CONFLICT WITH THE UTILITY SERVICES' RIGHT OF WAY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT AND COORDINATE WITH THE ELECTRIC UTILITY PROVIDER TO COORDINATE THE REMOVAL / RELOCATION OF ANY EXISTING POWER POLES WITHIN OR ADJACENT TO THE DEVELOPMENT PROPERTY.
- BACKFILL AND COMPACTION WITHIN COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST MARICOPA COUNTY SPECIAL PROVISIONS FOR INSTALLATION OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL COMPLY WITH THE PROVISION FOR TRAFFIC CONTROL AS PER THE 2003 EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES HANDBOOK.
- CONTRACTOR SHALL CALL THE BLUE STATE CENTER (602) 263-1100, FORTY-EIGHT (48) HOURS BEFORE YOU DIG FOR LOCATION OF ALL UNDERGROUND UTILITIES.
- ENGINEER CERTIFIES THAT HE HAS CONTACTED ALL INTERESTED UTILITY COMPANIES AND HAS TRANSFERRED ALL EXISTING AND/ OR PROPOSED UTILITY LINES AND RELATED INFORMATION ONTO THESE PLANS, AND THAT HE HAS ALSO CORRECTLY PLOTTED THE EXISTING AND PROPOSED RIGHT-OF-WAY AND EASEMENT LINES.
- THE CONTRACTOR SHALL BE REQUIRED TO INSTALL A NIGHT TIE IN FOR ANY NEW WATER LINES THAT WILL AFFECT EXISTING SERVICE SUFFICIENT TO WARRANT SAME IN THE OPINION OF THE TOWN OFF-SITE INSPECTOR.
- ALL IMPROVEMENTS WITHIN THE RETENTION BASIN AND/ OR ROADWAY PARKWAYS SHALL BE IN ACCORDANCE WITH THE LATEST TOWN OF GILBERT PROCEDURES FOR DEVELOPERS AND ENGINEERS.
- CONTRACTOR IS ADVISED THAT AN EXCAVATION AND DIRT MOVING PERMIT IS REQUIRED BY THE MARICOPA COUNTY HEALTH DEPARTMENT AND THE TOWN OF GILBERT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THIS PERMIT AND COMPLY WITH ITS REQUIREMENTS.
- ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNER WHEN THEY CEASE TO DRAIN THE SURFACE WATER IN A THIRTY-SIX HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL.

--- PAVING NOTES ---

1	INSTALL ASPHALT PAVEMENT PER GEOTECHNICAL SOILS REPORT	9278 SY
2	6" SINGLE CURB, PER MAG STD. DTL. 222-B	4617 LF
3	4' SIDEWALK, MAG STD. DTL. 230	6862 SF
4	SIDEWALK RAMP, COP DTL. P1235	20 EA

--- GRADING NOTES ---

1	INSTALL SCUPPER PER MAG STD DTL 203	2 EA
2	INSTALL CATCH BASIN PER MAG STD DTL 535	7 EA
3	INSTALL DRYWELL PER DETAIL ON THIS SHEET	3 EA
4	INSTALL 8" SDR-35 PVC EQUALIZER PIPE	170 LF
5	INSTALL 12" SDR-35 PVC STORM DRAIN PIPE	257 LF
6	INSTALL HEADWALL PER MAG STD DTL 501-1	5 EA
7	INSTALL 4' STORM DRAIN MH PER MAG STD DTL 520 & TOWN OF GILBERT PUBLIC WORKS & ENGINEERING STANDARDS & DETAILS SECT. 4.3	1 EA

ESTIMATE CUT AND FILL QUANTITIES

EARTHWORK NEEDS TO INCLUDE:

CUT= 2050 C.Y.
FILL= 4036 C.Y.
NET FILL= 1986 C.Y.

EARTHWORK QUANTITIES INDICATED HEREIN ARE PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE BASED ON RAW EARTHWORK VOLUME CALCULATIONS WHICH ARE A COMPARISON OF EXISTING GRADE DETERMINED FROM PROJECT TOPOGRAPHIC INFORMATION AND THE PROPOSED FINAL DESIGN FINISHED GRADE AND OR PAVEMENT SUBGRADE ELEVATIONS. THESE QUANTITIES DO NOT INCLUDE CLEARING, GRUBBING, SCARIFICATION OF EXISTING SITE SUBGRADE OR COMPACTION FACTORS FOR PLACEMENT AND RECOMPACTION OF EXISTING MATERIALS, FILL MATERIALS AND OR IMPORTS. SUBSURFACE CONDITIONS, DEMOLITION'S, ROCK REMOVALS, TRENCHING, BACK FILLING, FOR UTILITIES AND FOUNDATION EXCESS MATERIALS ARE NOT INCLUDED. THE EARTHWORK CONTRACTORS ARE TO VERIFY ALL PROJECT SITE CONDITIONS, GEOTECHNICAL REPORT BORING LOGS AND REQUIREMENTS PRIOR TO PLACING THE BID. THE EARTHWORK CONTRACTORS ARE TO DETERMINE THEIR OWN EARTHWORK CONSTRUCTION QUANTITIES TO FULL FILL AND EXECUTE THE INTENT OF THE PROJECT DESIGN REQUIREMENTS AND SATISFACTORILY QUANTIFY THE BID TO THE CONTRACTORS AND OWNERS.

RETENTION VOLUME

A. THE VOLUME WILL BE DETERMINED FROM THE FOLLOWING FORMULA:

V = DAC
V = VOLUME (Cubic Feet)
D = FIFTY YEAR, TWENTY-FOUR HOUR RAINFALL DEPTH-(0.25 feet)
A = DRAINAGE AREA (Square Feet)
C = WEIGHTED RUNOFF COEFFICIENT

B. A WEIGHTED RUN-OFF COEFFICIENT SHALL BE DETERMINED BASED ON THE FOLLOWING:

ROOF AND CONCRETE	C = 0.95
ASPHALT	C = 0.90
DESERT LANDSCAPING	C = 0.70
GREEN LANDSCAPING	C =0.25

ALL RETENTION BASINS MUST DRAIN ANY STORM EVENT UP TO AND INCLUDING THE 50-YR, 24-HR STORM WITHIN THIRTY-SIX (36) HOURS. OWNER(S) OF ANY BASIN FAILING TO MEET THIS REQUIREMENT MUST TAKE CORRECTIVE ACTION TO BRING THE BASIN INTO COMPLIANCE.

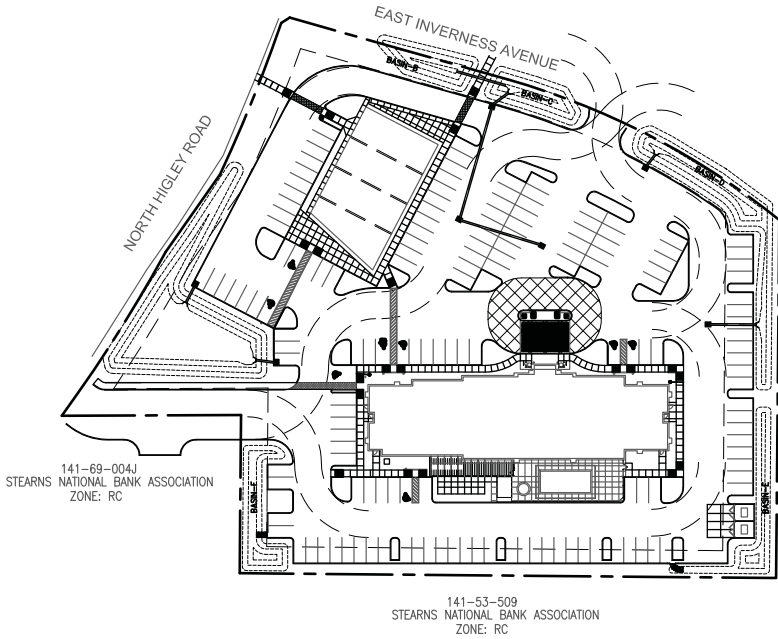
DA DESCRIPTION	AREA(A) (SQUARE FEET)	D	C	VOL REQUIRED V=DAC	VOL PROVIDED AS SHOWN ON PLAN
BUILDING ROOF	19,002	0.25	0.95	4,513 CF	
ASPHALT OR CEMENT	90,368	0.25	0.90	20,333 CF	
DESERT LANDSCAPING	37,817	0.25	0.70	6,618 CF	
GREEN LANDSCAPING	9,905	0.25	0.25	619 CF	
TOTAL SITE	157,092		0.82 WEIGHTED	32,083 CF	48,787 CF

GRADING, DRAINAGE & PAVING PLAN

FOR THE

HAMPTON INN & SUITES

OF A PORTION OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 2 EAST OF
NORTH HIGLEY ROAD AND SOUTH OF EAST INVERNESS AVENUE
TOWN OF GILBERT, MARICOPA COUNTY, ARIZONA



LEGEND

	NG=2976.00	EXISTING GROUND ELEV.
	---	EXISTING CHAIN LINK FENCE
	---1435---	EXISTING MAJOR CONTOUR
	---1436---	EXISTING MINOR CONTOUR
	////	EXISTING BUILDING
	FG=37.3	FINISH GRADE ELEVATION
	P=37.3	PAVEMENT ELEVATION
	0.30%	DIRECTION OF DRAINAGE
		HANDICAPPED PARKING STALL

OWNER/DEVELOPER

MILAN ENTERPRISES LLC
808 N. SCOTTSDALE RD
TEMPE, AZ 85281

ENGINEER

KINETIX ENGINEERING
10 W. MAIN STREET, STE. 200
MESA, ARIZONA 85203
PHONE: 480-734-1446
FAX: 480-464-5871
ATTN: DAVID M. BOHN

SURVEYOR

HARVEY LAND SURVEYING, INC.
461 EAST DARTMOUTH DRIVE
CASA GRANDE, ARIZONA 85122
PHONE: 520-876-4786
ATTN: COLIN D. HARVEY

SITE DATA

GROSS AREA :3.61 AC
ZONING :RC

SHEET INDEX

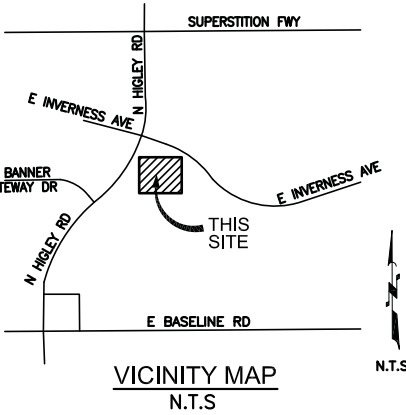
-COVER SHEET
-GRADING AND DRAINAGE PLAN
-HORIZONTAL CONTROL PLAN

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DR14-16

Attachment 6: Grading and Drainage Plan (3 pages)
July 10, 2014



LEGAL DESCRIPTION

PARCEL 1
LOT G-4, INVERNESS COMMONS UNIT 1, ACCORDING TO BOOK 504 OF MAPS, PAGE 48, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT THAT PORTION CONVEYED TO THE TOWN OF GILBERT, A MUNICIPAL CORPORATION, BY DEED INSTRUMENT RECORDED IN DOCUMENTS NO. 2007-0429269.

CONTAINING 3.2875 ACRES [143,205 SQUARE FEET] MORE OR LESS.

PARCEL 2
THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THAT PORTION LYING NORTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE POINT ON THE EAST LINE OF SAID SECTION 34, WHICH BEARS SOUTH 00 DEGREES 31 MINUTES 17 SECONDS WEST, 650.00 FEET FROM THE EAST QUARTER THEREOF;

THENCE NORTH 89 DEGREES 28 MINUTES 43 SECONDS WEST, 55.00 FEET;

THENCE NORTH 06 DEGREES 37 MINUTES 52 SECONDS WEST, 361.41 FEET;

THENCE NORTH 86 DEGREES 25 MINUTES 08 SECONDS WEST, 447.41 FEET;

THENCE SOUTH 89 DEGREES 44 MINUTES 11 SECONDS WEST 1980.16 FEET;

THENCE SOUTH 08 DEGREES 05 MINUTES 10 SECONDS WEST 344.59 FEET;

THENCE NORTH 89 DEGREES 25 MINUTES 19 SECONDS WEST 55.00 FEET TO THE POINT OF ENDING ON THE NORTH-SOUTH LINE OF SAID SECTION 34; AND

EXCEPT THE FOLLOWING DESCRIBED PARCEL:

THE SOUTH 11.00 FEET OF SAID NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 14;

EXCEPT THE WEST 247.50 FEET;

EXCEPT THEREFROM THE FOLLOWING DESCRIBED PARCEL:

A PORTION OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 34;

THENCE NORTH 00 DEGREES 31 MINUTES 24 SECONDS EAST (AN ASSUMED BEARING) ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 34, A DISTANCE OF 1,335.47 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 11 FEET OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 34;

THENCE SOUTH 89 DEGREES 46 MINUTES 53 SECONDS WEST ALONG SAID NORTH LINE, A DISTANCE OF 228.54 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 89 DEGREES 46 MINUTES 53 SECONDS WEST ALONG SAID NORTH LINE, A DISTANCE OF 11.00 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 34;

THENCE SOUTH 00 DEGREES 45 MINUTES 16 SECONDS WEST ALONG SAID WEST LINE, AS DISTANCE OF 11.00 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 34;

THENCE SOUTH 89 DEGREES 46 MINUTES 53 SECONDS WEST ALONG SAID SOUTH LINE, A DISTANCE OF 247.54 FEET TO THE SOUTHWEST CORNER OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 34, FROM WHICH THE CENTER OF SAID SECTION 34 BEARS NORTH 00 DEGREES 45 MINUTES 16 SECONDS EAST, A DISTANCE OF 1,322.47 FEET;

THENCE NORTH 00 DEGREES 45 MINUTES 16 SECONDS EAST ALONG SAID WEST LINE, A DISTANCE OF 722.62 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF THE SUPERSTITION FREEWAY;

THENCE SOUTH 89 DEGREES 29 MINUTES 24 SECONDS EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 64.81 FEET (SOUTH 89 DEGREES 25 MINUTES 19 SECONDS EAST, 55.00 FEET RECORD);

THENCE NORTH 08 DEGREES 05 MINUTES 49 SECONDS EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 344.35 FEET (NORTH 08 DEGREES 05 MINUTES 10 SECONDS, 344.39 FEET RECORD);

THENCE NORTH 89 DEGREES 44 MINUTES 25 SECONDS EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 1980.28 FEET (NORTH 89 DEGREES 44 MINUTES 11 SECONDS EAST, 1980.16 FEET RECORD);

THENCE SOUTH 86 DEGREES 25 MINUTES 46 SECONDS EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 446.84 FEET (SOUTH 86 DEGREES 25 MINUTES 08 SECONDS, 447.81 FEET RECORD);

THENCE SOUTH 06 DEGREES 42 MINUTES 34 SECONDS EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 361.61 FEET (SOUTH 06 DEGREES 37 MINUTES 52 SECONDS EAST, 361.41 FEET RECORD);

THENCE SOUTH 89 DEGREES 28 MINUTES 36 SECONDS EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 55.14 FEET (SOUTH 89 DEGREES 28 MINUTES 43 SECONDS EAST, 55.00 FEET RECORD) TO A POINT OF THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 34, FROM WHICH THE EAST QUARTER CORNER OF SAID SECTION 34 BEARS NORTH 00 DEGREES 31 MINUTES 24 SECONDS EAST, A DISTANCE OF 650.09 FEET (NORTH 00 DEGREES 31 MINUTES 17 SECONDS EAST, 650.00 FEET RECORD);

THENCE SOUTH 00 DEGREES 31 MINUTES 24 SECONDS WEST ALONG SAID EAST LINE, A DISTANCE OF 8.79 FEET. TO A POINT ON A NON-TANGENT CURVE CONCAVE TO THE NORTHWEST, THE CENTER OF WHICH BEARS SOUTH 89 DEGREES 49 MINUTES 52 SECONDS EAST, A DISTANCE OF 1,041.74 FEET;

THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 39 DEGREES 02 MINUTES 14 SECONDS, A DISTANCE OF 709.76 FEET TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION CONVEYED TO THE TOWN OF GILBERT, A MUNICIPAL CORPORATION, BY DEED INSTRUMENT RECORDED IN DOCUMENT NO. 2007-0429269.

CONTAINING 0.1793 ACRES [7,809 SQUARE FEET] MORE OR LESS.

PARCEL NO. 2A:

THAT PORTION OF THE EAST 33 FEET OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 34, RANGE 6 EAST, TOWNSHIP 1 NORTH OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF BASELINE ROAD AND SOUTH OF THE NEW HIGLEY ROAD ALIGNMENT AS ABANDONED BY RESOLUTION NO. 1207 RECORDED FEBRUARY 23, 2006 IN DOCUMENT NOR. 2006-0248670;

EXCEPT THE SOUTH 11 FEET THEREOF.

CONTAINING 0.1395 ACRES [6,079 SQUARE FEET] MORE OR LESS.

BENCHMARK

BRASS TAG FOUND AT THE INTERSECTION OF BASELINE ROAD & HIGLEY ROAD, ALSO BEING THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 1 NORTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.
ELEVATION = 1296.57' (CITY OF MESA DATUM)

BASIS OF BEARING

THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA BEARING N00°29'55"E. (ASSUMED BEARING)

FLOOD ZONE

CURRENT FLOOD ZONE IS "ZONE X" (AREA OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WIDTH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD); PER FIRM MAP NO. 04013C2290 L, DATED OCTOBER 16, 2013.

RETENTION PROVIDED IS FOR THE 100 YR, 2 HOUR STORM EVENT. EXTREME STORM OUTFALL AT THE SITE IS AT THE NE CORNER OF THE MODULAR BUILDING SITE AT THE ELEVATION OF 1433.52



10 W. MAIN STREET
STE 200
MESA, ARIZONA 85203
PHONE: 480.734.1446
FAX: 480.464.5871

REVISIONS:	

COVER SHEET

"HAMPTON INN & SUITES"

TOWN OF GILBERT, MARICOPA COUNTY, ARIZONA

PROJECT:

Job No:	14020
Drawn By:	KNX
Checked:	DB
1st Submittal:	
2nd Submittal:	
3rd Submittal:	

CALL TWO WORKING DAYS BEFORE ANY CONSTRUCTION OF THIS PROJECT

(602) 263-1100

1-800-STAKE-IT

(OUTSIDE MARICOPA COUNTY)



JOB NO.
14020

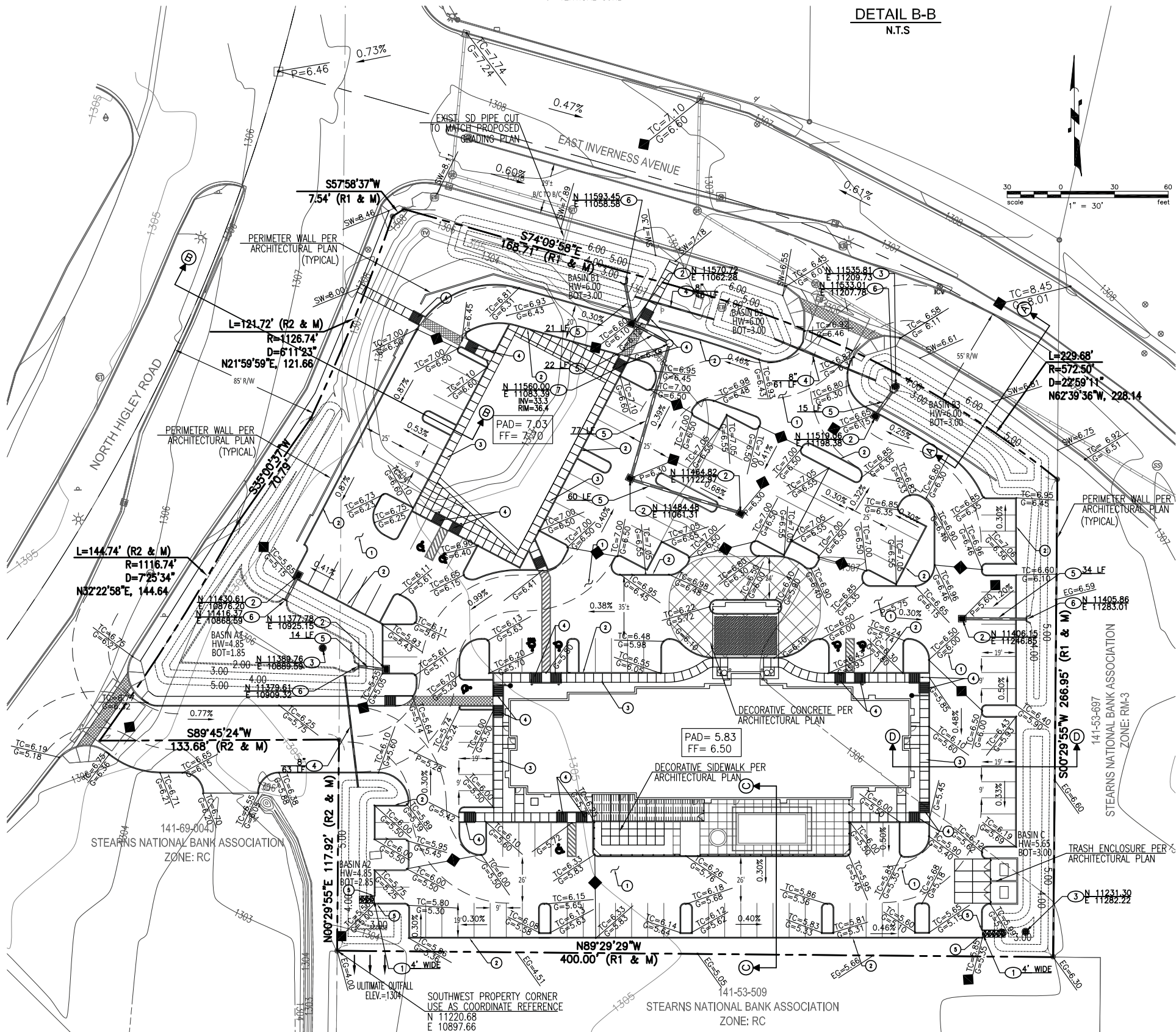
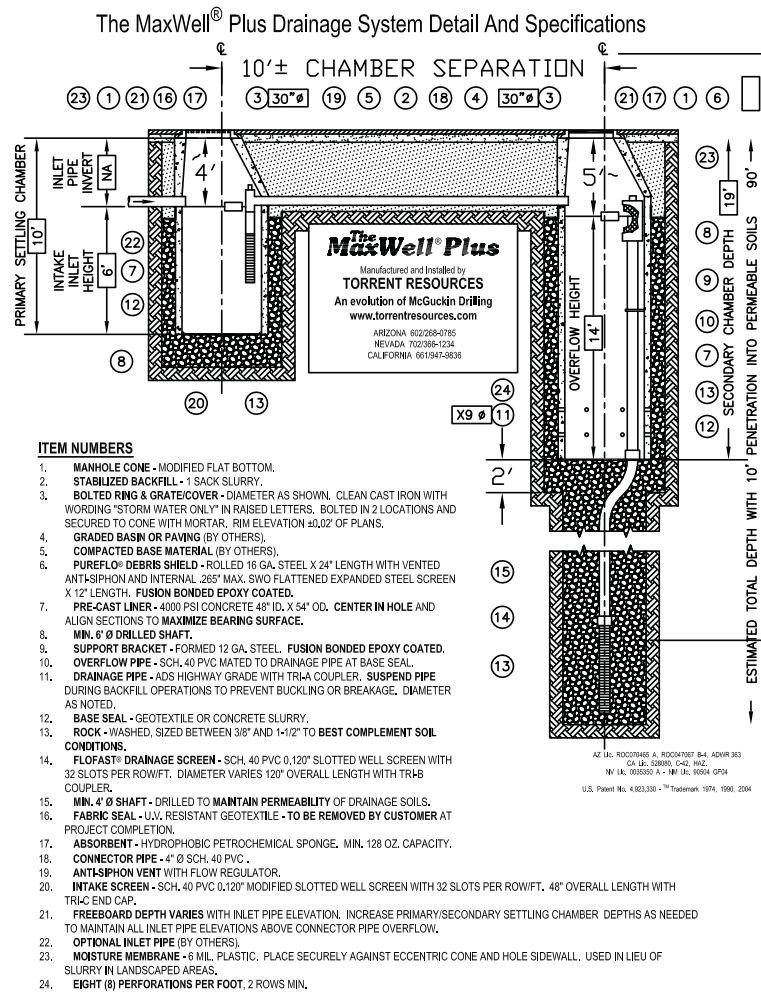
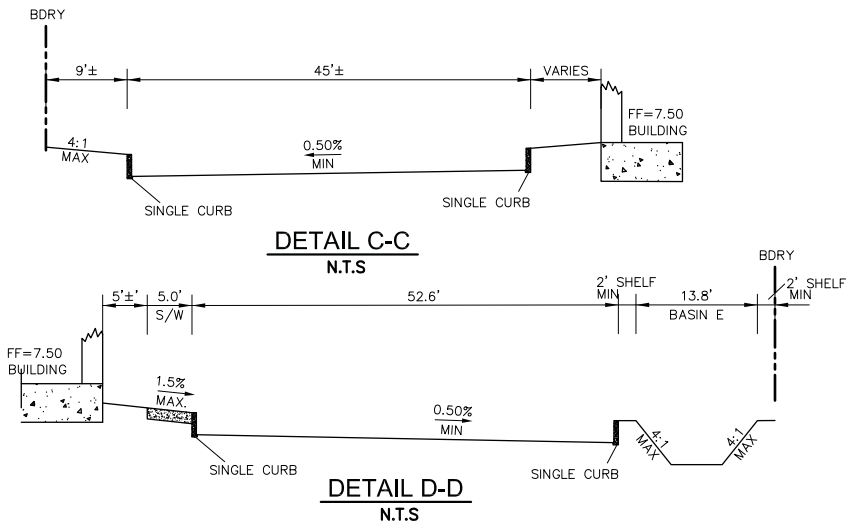
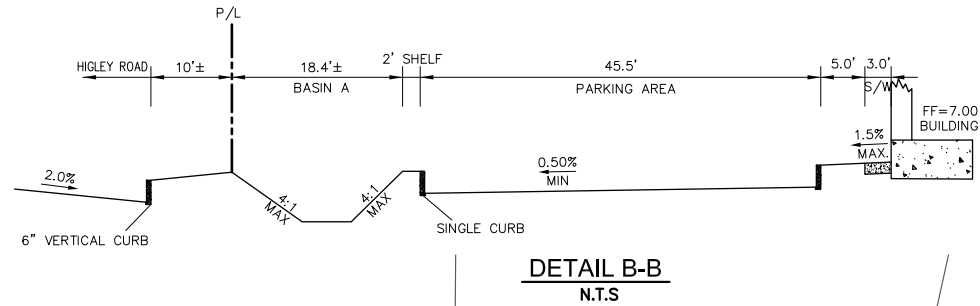
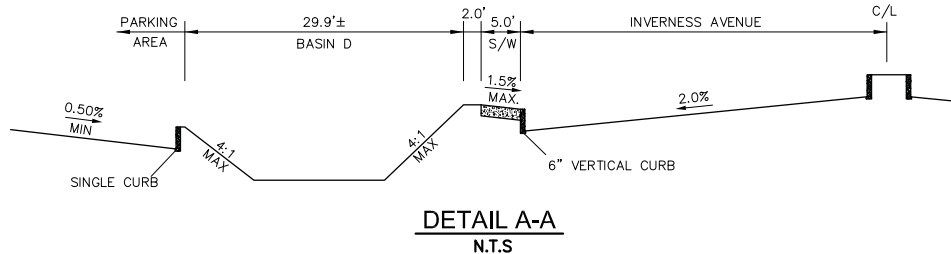
14020CVR01.DWG

SHEET NO.
1

1 OF 3

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-- PAVING NOTES --	
1	INSTALL ASPHALT PAVEMENT PER GEOTECHNICAL SOILS REPORT 9278 SY
2	6" SINGLE CURB, PER MAG STD. DTL. 222-B 4617 LF
3	4' SIDEWALK, MAG STD. DTL. 230 6862 SF
4	INSTALL SIDEWALK RAMP 20 EA
5	INSTALL CURB TERMINATION PER MAG STD DTL 222 4 EA
-- GRADING NOTES --	
1	INSTALL SCUPPER PER MAG STD DTL 203 2 EA
2	INSTALL CATCH BASIN PER MAG STD DTL 535 7 EA
3	INSTALL DRYWELL PER DETAIL ON THIS SHEET 3 EA
4	INSTALL 8" SDR-35 PVC EQUALIZER PIPE 170 LF
5	INSTALL 12" SDR-35 PVC STORM DRAIN PIPE 257 LF
6	INSTALL HEADWALL PER MAG STD DTL 501-1 5 EA
7	INSTALL 4' STORM DRAIN MH PER MAG STD DTL 520 & TOWN OF 1 EA
GILBERT PUBLIC WORKS & ENGINEERING STANDARDS & DETAILS SECT. 4.3	



KINETIX
ENGINEERING & CONSULTATION
10 W. MAIN STREET
STE 200
MESA, ARIZONA 85203
PHONE: 480.734.1446
FAX: 480.464.5871

REVISIONS:

GRADING, DRAINAGE AND PAVING PLAN

PROJECT: "HAMPTON INN & SUITES"
TOWN OF GILBERT, MARICOPA COUNTY, ARIZONA

Job No.: 14020
Drawn By: KNX
Checked: DB
1st Submit:
2nd Submit:
3rd Submit:

CALL TWO WORKING DAYS BEFORE ANY CHANGES
(602) 263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

REGISTERED PROFESSIONAL ENGINEER
48533
DAVID M. BORN
ARIZONA
EXPIRES 09/30/2014

JOB NO.
14020

14020GP02.DWG

SHEET NO.
2

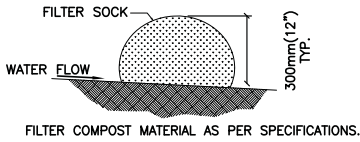
2 OF 2

STORM WATER MANAGEMENT PLAN

FOR THE HAMPTON HOTEL

OF A PORTION OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 2 EAST OF
NORTH HIGLEY ROAD AND SOUTH OF EAST INVERNESS AVENUE
TOWN OF GILBERT, MARICOPA COUNTY, ARIZONA

FILTER SOCK PROTECTION

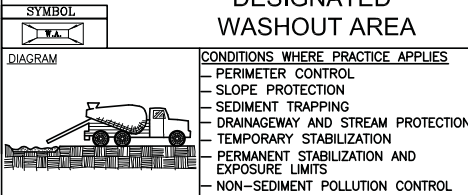


NOTES

1. ALL MATERIAL TO MEET FILTER SOCK SPECIFICATIONS.
2. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTER BERM IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
3. WHERE THE BERM REQUIRES REPAIR, IT WILL BE ROUTINELY REPAIRED.
4. THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE BERM WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE BERM, OR AS DIRECTED BY THE ENGINEER.
5. THE COMPOST FILTER BERM WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

CONTACT INFORMATION
FILTER SOCK. 35481 GRAFTON EASTERN RD GRAFTON, OH
USA 44044 440-926-8041

DESIGNATED WASHOUT AREA



DEFINITION

A TEMPORARY PIT OR BERMED AREA FOR WASHOUT OF CONCRETE TRUCKS, TOOLS, MORTAR MIXERS, ETC.

PURPOSE

IMPROPER WASHOUT OF CONCRETE TRUCKS, TOOLS, ETC. MAY ALLOW FRESH CONCRETE OR CEMENT LADEN MORTAR TO ENTER A STORM DRAINAGE SYSTEM.

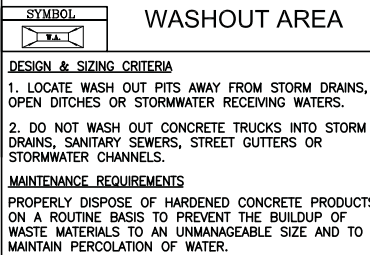
APPROPRIATE APPLICATIONS

EFFECTIVE WHEN VEHICLES, TOOLS AND MIXERS CAN BE MOVED TO THE PIT LOCATION. WHERE THIS IS NOT PRACTICAL, TEMPORARY PONDS MAY BE CONSTRUCTED TO ALLOW FOR SETTLING AND HARDENING OF CEMENT AND AGGREGATES. WASHOUT AREA/PITS ARE APPROPRIATE FOR MINOR AMOUNTS OF WASH WATER WHICH RESULT FROM CLEANING OF AGGREGATE MATERIALS OF CONCRETE TRUCKS, TOOLS, ETC.

PLANNING CONSIDERATIONS

1. WASH OUT INTO A SLURRY PIT WHICH WILL LATER BE BACKFILLED. DO THIS ONLY WITH THE APPROVAL OF THE PROPERTY OWNER.
2. WASH OUT INTO A TEMPORARY PIT WHERE THE CONCRETE WASH CAN HARDEN, BE BROKEN UP AND THEN PROPERLY DISPOSED OF OFF-SITE.

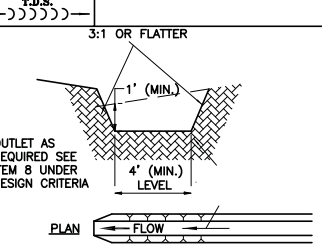
DESIGNATED WASHOUT AREA



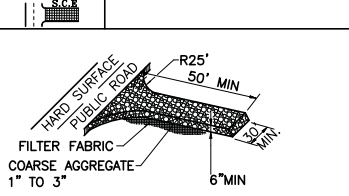
GENERAL NOTES

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9. THE CONTRACTOR SHALL BE REQUIRED TO INSTALL A NIGHT TIE IN FOR ANY NEW WATER LINES THAT WILL AFFECT EXISTING SERVICE SUFFICIENT TO WARRANT SAME IN THE OPINION OF THE TOWN OFF-SITE INSPECTOR.
10. ALL IMPROVEMENTS WITHIN THE RETENTION BASIN AND/ OR ROADWAY PARKWAYS SHALL BE IN ACCORDANCE WITH THE LATEST TOWN OF GILBERT PROCEDURES FOR DEVELOPERS AND ENGINEERS.
11. CONTRACTOR IS ADVISED THAT AN EXCAVATION AND DIRT MOVING PERMIT IS REQUIRED BY THE MARICOPA COUNTY HEALTH DEPARTMENT AND THE TOWN OF GILBERT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THIS PERMIT AND COMPLY WITH ITS REQUIREMENTS.
12. ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNER WHEN THEY CEASE TO DRAIN THE SURFACE WATER IN A THIRTY-SIX HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL.

TEMPORARY DRAINAGE SWALE



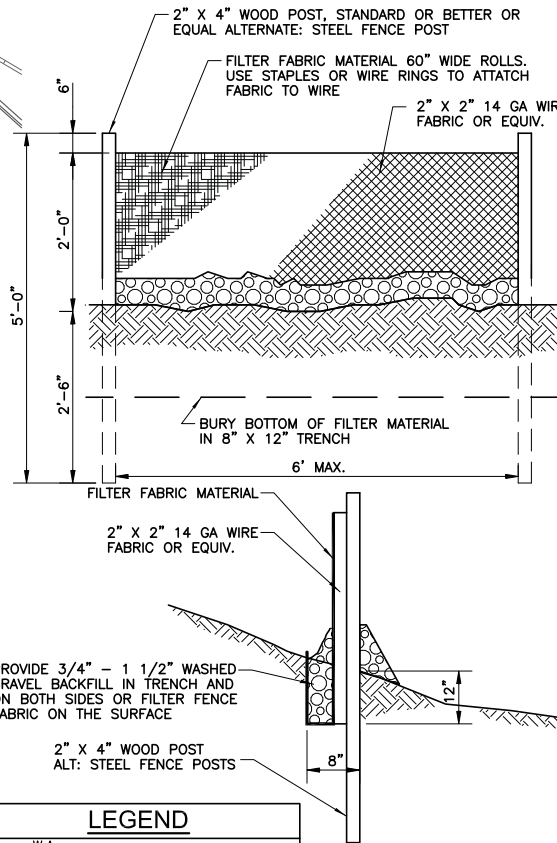
STABILIZED CONSTRUCTION ENTRANCE



NOTES

S.C.E.	STABILIZED CONSTRUCTION ENTRANCE	2 EA
W.A.	WASHOUT AREA	3758 SF
T.D.S.	TEMPORARY DRAINAGE SWALE	60 LF
S.F.	SILT FENCE	935 LF
F.S.	FILTER SOCK	250 LF

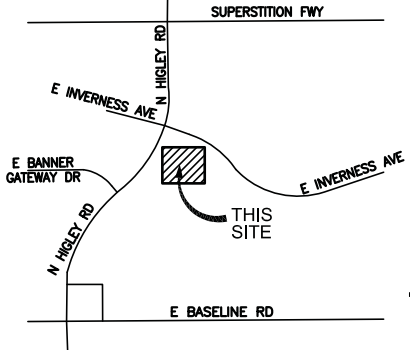
SILT FENCE



LEGEND

W.A.	WASH AREA/ SEDIMENT TRAP (BMP-99/100)
S.C.E.	STABILIZED CONSTRUCTION ENTRANCE (BMP-39/39-B)
F.S.	FILTER SOCK (BMP-FS)
T.D.S.	TEMPORARY DRAINAGE SWALE (BMP-30)
GRADE BREAK	GRADE BREAK
CATCH BASIN	CATCH BASIN
DIRECTION OF FLOW	DIRECTION OF FLOW
STORM DRAIN PIPE	STORM DRAIN PIPE
S.F.	SILT FENCE (BMP-67)

VICINITY MAP N.T.S.



SURVEYOR

HARVEY LAND SURVEYING, INC.
461 EAST DARTMOUTH DRIVE
CASA GRANDE, ARIZONA 85122
PHONE: 520-876-4786
ATTN: COLIN D. HARVEY

SITE DATA

GROSS AREA :3.61 AC
ZONING :RC

OWNER/DEVELOPER

MILAN ENTERPRISES LLC
808 N. SCOTTSDALE RD
TEMPE, AZ 85281

ENGINEER

KINETIX ENGINEERING
10 W. MAIN STREET, STE. 200
MESA, ARIZONA 85203
PHONE: 480-734-1446
FAX: 480-464-5871
ATTN: DAVID M. BOHN



ENGINEERING &
CONSULTATION
10 W. MAIN STREET
STE 200
MESA, ARIZONA 85203
PHONE: 480.734.1446
FAX: 480.464.5871

STORM WATER MANAGEMENT PLAN

"HAMPTON INN & SUITES"

TOWN OF GILBERT, MARICOPA COUNTY, ARIZONA

Job No.: 14020
Drawn By: KNX
Checked: DB
1st Submit:
2nd Submit:
3rd Submit:
CALL TWO WORKING DAYS BEFORE SUBMITTAL
(602) 263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)



JOB NO.
14020

14020SWPPP.DWG

SHEET NO.

1

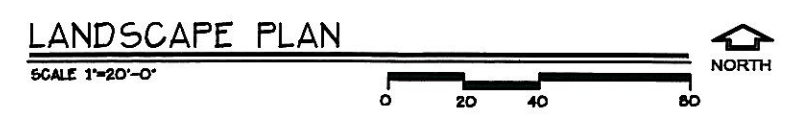
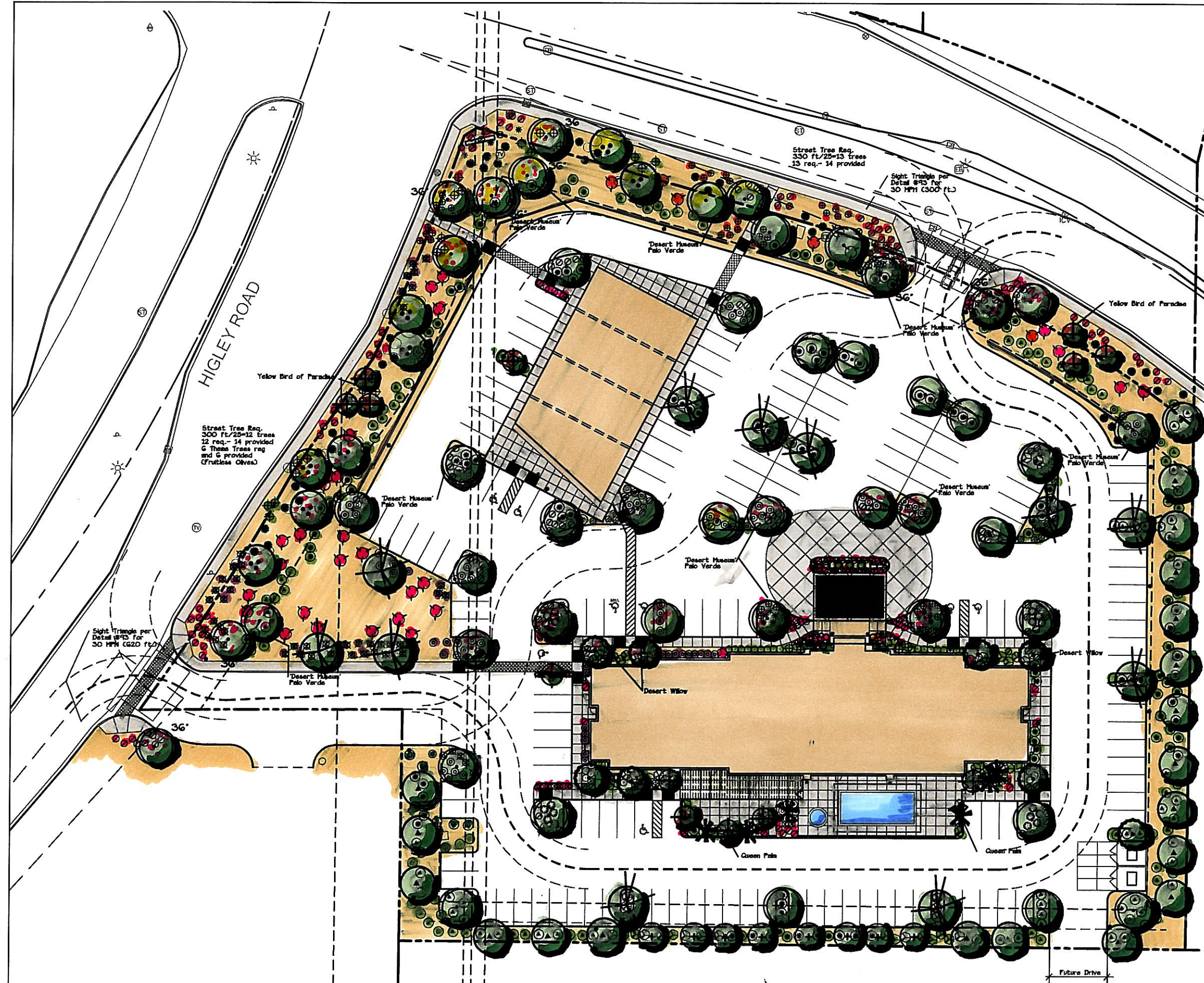
1 OF 1

PRELIMINARY
NOT FOR
CONSTRUCTION

HAMPTON INN AND SUITES
1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

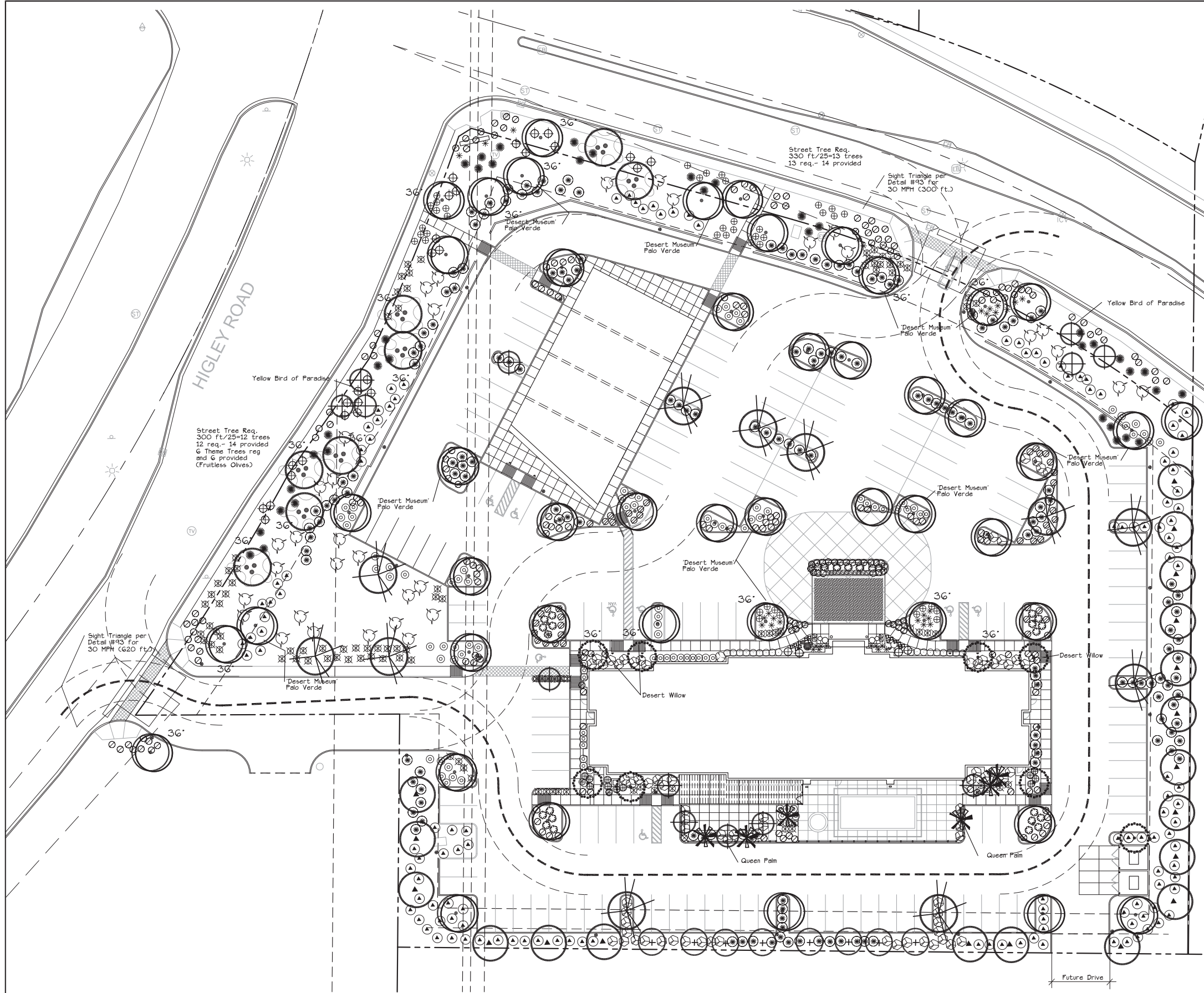
PLANT MATERIAL LEGEND

KEY	SYMBOL	BOTANICAL/COMMON NAME	SIZE	Height/Spread
TREES				
1	+	Acacia stenophylla Shoestring Acacia	24" Box 4' 4" 1.5'	Double-Staked Typ.
2	*	Arctostaphylos uva-ursi Queen Palm	24" Box 30' tall on Double-Staked Typ.	
3	○	Parsonsia hybrid Desert Yucca	24" Box 7.5' 4' 1.5'	Double-Staked Typ.
4	△	Delonix regia Desert Palm	24" Box 30' 4' 1.5'	Double-Staked Typ.
5	⊕	Conocarpus pinnatifidus Red Bird of Paradise	24" Box 4' 4' 1.5'	Double-Staked Typ.
6	⊗	Clusia rosea 'Siam Hill' Siam Hill Tree	24" Box 5' 5' 1.5'	Double-Staked Typ.
7	⊙	Chrysomela l. 'Warren Jones' Warren Jones Desert Willow	24" Box 5' 5' 1.5'	Double-Staked Typ.
8	⊗	Prosopis juliflora 'Thomson' Thomson Hybrid Mesquite	24" Box 5' 5' 1.5'	Double-Staked Typ.
CACTI/AGAVE				
9	⊕	Cylindropuntia Saguaro	5' Spec. A Arm See Plan for Spec.	
10	⊕	Echinocactus grusonii Golden Barrel Cactus	5' Galton	
11	⊕	Fouquieria splendens Saguaro	4' to 6', 4 to 5 cogs	
LARGE SHRUBS				
12	⊕	Erythrina 'Valencia' Valencia Bush	5' Galton	
13	⊕	Leucosiphon imbricatus Rio Bravo Texas Ranger	5' Galton	
14	⊕	Morus n. 'Petrae Palm' Petrae Palm	5' Galton	
MEDIUM AND SMALL SHRUBS				
15	⊕	Cercas grandiflora Green Carpet Natal Palm	5' Galton	
16	⊕	Juniperus californica Juniper	5' Galton	
17	⊕	Callispermum s. 'Little John' Little John Bottle Brush	5' Galton	
18	⊕	Hesperaloe parviflora 'Red Hat' Red Hat Deer Grass	5' Galton	
19	⊕	Yucca filamentosa Sage Yucca	5' Galton	
GROUNDCOVERS				
20	⊕	Lantana n. 'New Gold' New Gold Lantana	1' Galton	
21	⊕	Zinnia mexicana + grandiflora White + Pink Sun Lily	50% mix	
22	⊕	Hymenocallis Angelica Daisy	1' Galton	
23	⊕	Rosa multiflora 'Prostrata' Over 7' Rosemary	5' Galton	
ACCENTS				
24	⊕	Bougainvillea 'Torch Glow' Torch Glow Bougainvillea	5' Galton	
25	⊕	Conocarpus pinnatifidus Red Bird of Paradise	5' Galton	
26	⊕	Agave parviflora Tall Flower Agave	5' Galton	
27	⊕	Hesperaloe parviflora Red Yucca	5' Galton	
28	⊕	Agave 'The Glow' Blue Glow Agave	5' Galton	
LANDSCAPE MATERIALS				
29	⊕	Decomposed Granite Desert Gold	1/2" size screened 2" Deep	
30	⊕	Surface Select Granite Boulders	6' tons of various size boulders	



DR14-16
Attachment 7: Landscape Plan (2 pages)
July 10, 2014





PLANT MATERIAL LEGEND				
KEY	SYMBOL	BOTANICAL/Common Name	SIZE (Height/Spread/Caliper)	QUANT.
TREES				
1	+	Acacia stenophylla Shoestring Acacia	24" Box 9' 4' 1.5" Double-Staked Typ.	8
2	✱	Arcastrum romanzoffianum Queen Palm	24" Box 10' tall min. Double-Staked Typ.	6
3	●	Parkinsonia hybrid 'Desert Museum' Desert Museum Palo Verde	36" Box 10' 8' 2.5" Double-Staked Typ. Multi-trunk	37 10
4	▲	Dalbergia sissoo Sissoo	24" Box 10' 4' 1.25" Double-Staked Typ.	18 4
5	⊕	Caesalpinia pulcherrima Red Bird of Paradise	24" Box 9' 4' 1.25" Double-Staked Typ.	13
6	⊙	Olea europaea 'Swan Hill' Swan Hill Olive	24" Box 8' 5' 1.5" 24" Box 12' 10' 5" Double-Staked Typ. Multi-trunk	8 6
7	⊙	Chilopsis l. 'Warren Jones' Warren Jones Desert Willow	24" Box 6' 3' 1.5" 36" Box 8' 8' 2.5" Double-Staked Typ.	9 5
8	⊙	Prosopis hybrid 'Phoenix' Thornless Hybrid Mesquite	24" Box 8' 4' 1.5" Double-Staked Typ. Multi-trunk	11
CACTI/AGAVE				
9	☞	Carnegiea gigantea Saguaro	5' Spec. A Arm See Plan for Spec.	1
10	☞	Echinocactus grusonii Golden Barrel Cactus	5 Gallon	15
11	☞	Fouquieria splendens Occotillo	4' to 6', 4 to 5 coars	1
LARGE SHRUBS				
12	⊕	Eremophila 'Valentine' Valentine Bush	5 Gallon	73
13	⊕	Leucophyllum longimanis Rio Bravo Texas Ranger	5 Gallon	165
14	⊕	Nerium o. 'Petite Pink' Petite Pink Oleander	5 Gallon	132
MEDIUM AND SMALL SHRUBS				
15	⊕	Carex grandiflora Green Carpet Natal Plum	5 Gallon	13
16	⊕	Justicia californica Chaparral	5 Gallon	31
17	⊕	Callistemon c. 'Little John' Little John Bottle Brush	5 Gallon	17
18	⊕	Muhlenbergia capillaris 'Regal Mist' Regal Mist Deer Grass	5 Gallon	100
19	⊕	Ruellia penicillaris Baja Ruella	5 Gallon	96
GROUNDCOVERS				
20	⊕	Lantana s. 'New Gold' New Gold Lantana	1 Gallon	204
21	⊕	Zephyranthes candida + grandiflora White + Pink Ran Lily	1 Gallon 50% mix	15
22	⊕	Hymenoxys acaulis Angelita Daisy	1 Gallon	41
23	⊕	Rosemarinus officinalis 'Prostratus' Dwarf Rosemary	5 Gallon	41
ACCENTS				
24	⊕	Bougainvillea 'Torch Glow' Torch Glow Bougainvillea	5 Gallon	2
25	⊕	Caesalpinia pulcherrima Red Bird of Paradise	5 Gallon	34
26	⊕	Agave geminiflora Tall Flower Agave	5 Gallon	36
27	⊕	Hesperaloe parviflora Red Yucca	5 Gallon	39
28	⊕	Agave 'Blue Glow' Blue Glow Agave	5 Gallon	27
LANDSCAPE MATERIALS				
29	⊕	Decomposed Granite Desert Gold	1/2" size screened 2" Deep	
30	⊕	Surface Select Granite Boulders	8 tons of various size boulders	



HAMPTON INN AND SUITES
1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

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PATHANGAY ARCHITECTS, LLC

KEY:

PHOENIX EAST MESA, AZ
PROJECT NUMBER: 14-018
FACILITY I.D.: 47247
INN CODE: PHXEM

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

L2.0

DRAWN BY: DRC

REVIEWED BY: DRC

DATE: 06/23/2014

PROJECT NUMBER: 2013-23



STANDARD COMMERCIAL AND INDUSTRIAL SITE PLAN NOTES

- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDER GROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 8" SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
 - FULLY RECESSING THE CABINET IN TO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET;
 - SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET;
 - AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
 - THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR;
 - BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET, TO THE EXTENT PERMITTED BY LAW. SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
 - ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;
 - ROUTED UNDER GROUND.
- ALL BACKFLOW PREVENTION DEVICES LARGER THAN 2" SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS 2" OR SMALLER SHALL BE PLACED IN A LOCKED WIRE MESH CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
 - BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
 - HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30' FROM ADJACENT GRADE.
 - BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNDED AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANTE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.

PROJECT TEAM

OWNER
HAMPTON INN AND SUITES
808 N SCOTTSDALE RD
TEMPE, AZ 85281

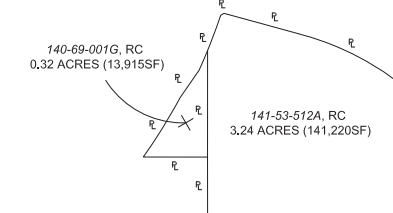
ARCHITECT
MR. NAVIN PATHANGAY
PATHANGAY ARCHITECTS, LLC
4545 NORTH 36TH STREET STE 202
PHOENIX, AZ 85018
TEL: (602) 368-9375
FAX: (602) 368-9380
EMAIL: navin@pathangayarchitects.com

PROJECT DATA

APNs:	141-53-512A; 140-69-001G
PROPOSED USE:	HOTEL / OFFICE
EXISTING ZONING:	RC, BOTH PARCELS
GROSS SITE AREA:	4.79 ACRES (208,815SF)
NET SITE AREA WITH NEW R.O.W.:	3.56 ACRES (155,147SF)
BUILDING AREA:	5,620SF
OFFICES:	65,525SF
HOTEL:	71,145SF
TOTAL BUILDING AREA:	45.8%
SITE COVERAGE / F.A.R.:	NONE
HEIGHT RESTRICTIONS:	
PARKING REQUIREMENTS	
FUTURE OFFICES:	24 SPACES
OFFICE (5,620SF) @ 1/250SF =	TO BE DIVIDED INTO 4 TENANTS @ 6 SPACES EA
HOTEL:	
1.1 SPACES PER ROOM (101) =	111 SPACES
TOTAL REQUIRED:	135 SPACES
TOTAL PROVIDED:	146 SPACES
ACCESSIBLE SPACES REQUIRED:	6 SPACES
ACCESSIBLE SPACES PROVIDED:	8 SPACES
TOTAL BIKE STALLS REQ'D (10% OF PARKING):	2 STALLS PER RACK
HOTEL BIKE RACKS (11 STALLS REQ'D)	5.5 REQ'D / 6 PROV'D
OFFICES BIKE RACKS (2 STALLS REQ'D)	1 REQ'D / 2 PROV'D
OPEN SPACE/ LANDSCAPE AREAS:	43,370SF
PERCENTAGE OF NET AREA:	28%
REQUIRED:	15%

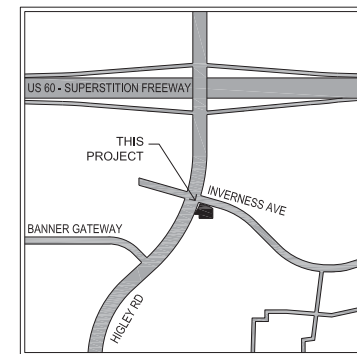
KEYNOTES

- FUTURE MONUMENT SIGN
 - 30'-0" H FLAGPOLE
 - ADA ACCESS FROM STREET
 - ADA RAMP
 - EXT'G SWITCH PAD
 - SIGHT VISIBILITY TRIANGLE - 30MPH
 - TEMPORARY CURBING AT FUTURE ACCESS POINT
 - 3'-0" H CMU BLOCK SCREEN WALL: 3'-0" MINIMUM DISTANCE FROM INTERIOR FACE OF 6" CURBING, STAGGER 1'-0" PER 100LF, OUTSIDE OF LANDSCAPE SETBACK
 - 6'-0" H CMU BLOCK PERIMETER WALL
 - PEDESTRIAN PATH - DECORATIVE PAVING
 - TRASH ENCLOSURE, SEE A2.00
 - AERIAL FIRE APPARATUS ACCESS ROUTE, 26'-0" MINIMUM UNOBSTRUCTED WIDTH. FIRE LANE SIGNS AS SPEC'D IN SECTION D103.6 SHALL BE POSTED ON BOTH SIDES
 - BIKE RACKS
 - HOT TUB
 - 12'-0" X 20'-0" PASSENGER LOADING SPACE
 - SES. SEE ELEC
 - TRANSFORMER PAD, SEE ELEC
 - EMERGENCY GENERATOR, SEE ELEC
 - FUTURE SIGNAGE
- NEW FIRE HYDRANT, REF CIVIL



PARCEL DIAGRAM

NOT TO SCALE



VICINITY MAP

DR14-16
Attachment 8: Site Plan
July 10, 2014



HAMPTON INN AND SUITES
1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

DR14-16 DRB
2ND SUBMITTAL

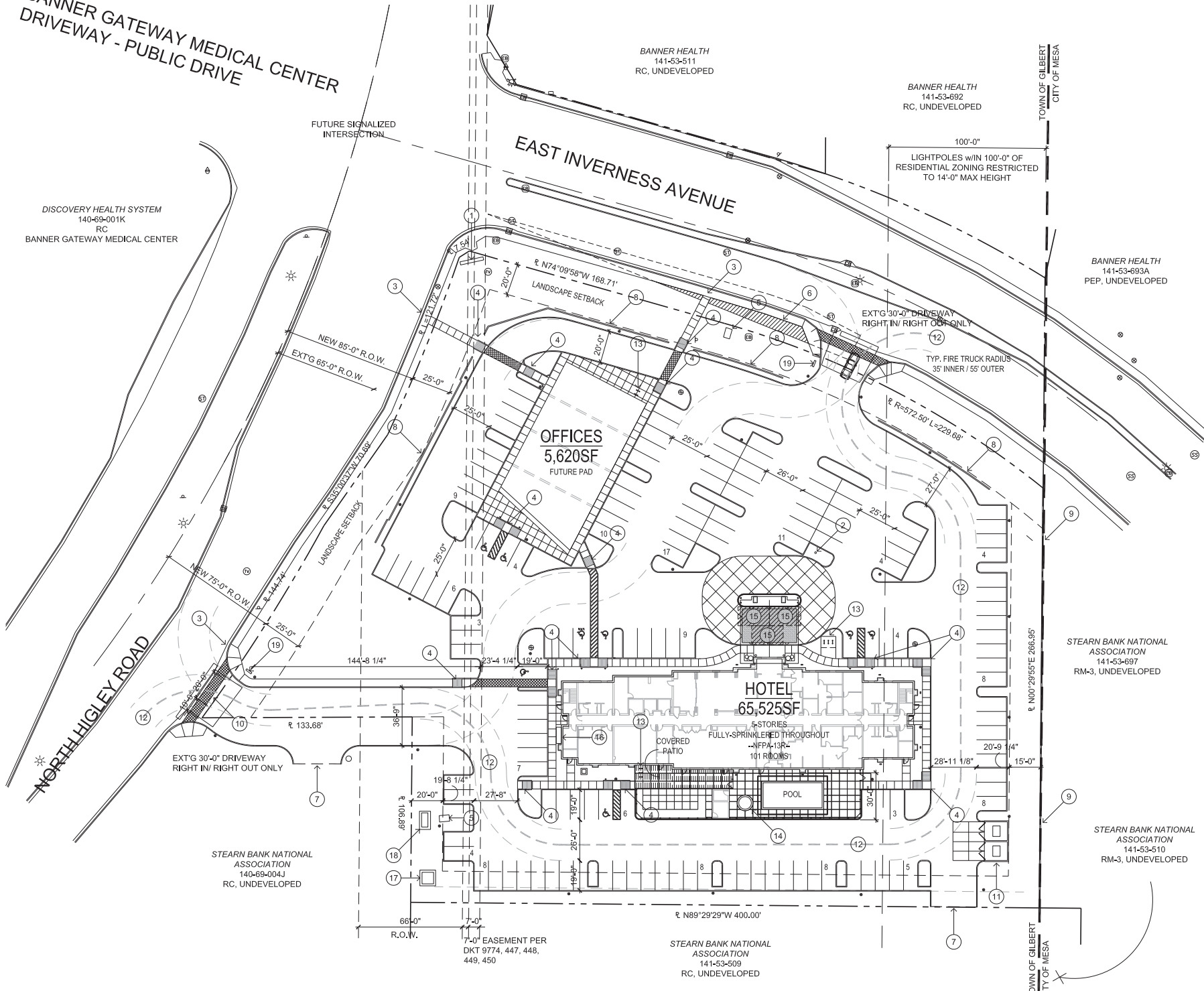
KEY:
PHOENIX EAST MESA, AZ
PROJECT NUMBER: 14-018
FACILITY I.D.: 47247
INN CODE: PHXEM

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A1.00

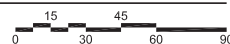
DRAWN BY: TM
DATE: 6/23/2014
REVIEWED BY: NP
PROJECT NUMBER: 2013-23

BANNER GATEWAY MEDICAL CENTER
DRIVEWAY - PUBLIC DRIVE



SITE PLAN

1" = 30'



HAMPTON INN AND SUITES
1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

**DR14-16 DRB
2ND SUBMITTAL**

KEY:

PHOENIX EAST MESA, AZ
PROJECT NUMBER: 14-018
FACILITY I.D.: 47247
INN CODE: PHXEM

SHEET TITLE:
**FLOOR PLAN
FIRST LEVEL**

SHEET NUMBER:
A1.02

DRAWN BY: TM
DATE: 6/23/2014
REVIEWED BY: NP
PROJECT NUMBER: 2013-23

KEY NOTES:

- ONE ELEVATOR CAB SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND MUST ACCOMMODATE AN AMBULANCE STRETCHER
- PROVIDE ENCLOSED ROOM FOR LINEN CHUTE WHEN REQUIRED BY CODE
- HOUSE PHONE, LOCATED WITHIN ACCESSIBLE REACH RANGE, ON AN ACCESSIBLE ROUTE AND WITH CLEAR FLOOR SPACE FOR FRONT OR SIDE APPROACH, PHONE MUST BE EQUIPPED WITH VOLUME CONTROL AND A MIN. 28" LONG CORD.
- POTENTIAL LOCATION FOR HVAC DUCT SHAFT
- MEETING ROOM - OPTIONAL
- ELEMENTS FOR OPTIONAL GUEST LAUNDRY SHOWN - PROVIDE INSULATED (IF ON UPPER FLOORS) FLOOR DRAIN ACCORDING TO LOCAL CODE - PROVIDE REQUIRED ACCESSIBLE EQUIPMENT, COUNTERS, STORAGE, HOUSE PHONE AND CLEAR FLOOR SPACES AT EACH LOCATION
- CARD READER - MOUNTED WITHIN ACCESSIBLE REACH RANGE AND MUST BE ON AN ACCESSIBLE ROUTE AND HAVE CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH
- ELEVATOR LOBBY DOORS REQUIRED IF BUILDING IS 4 STORIES OR MORE IN HEIGHT, OR AS REQ'D BY LOCAL CODE
- PORTE COCHERE / VESTIBULE ROOF
- OUTDOOR SHOWER
- INDOOR POOL EQUIPMENT ROOMS MAY NOT BE LOCATED BELOW GUEST ROOMS
- LINEN CHUTE MUST HAVE SELF CLOSING AND SELF LOCKING DOORS.
- REFER TO ROOF PLAN
- PROVIDE CODE COMPLIANT OVERFLOW FOR THIS ROOF
- ALTERNATING TREAD STAIR AND ROOF HATCH AT TOP FLOOR ONLY - REFER ALSO TO ROOF PLAN
- PROVIDE INSULATED FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN (1/48 MAX - 1/64 RECOMMENDED).
- DOOR AS REQUIRED BY LOCAL JURISDICTION - IF INSTALLED THEY MUST BE ON AUTOMATIC CLOSURES ACTIVATED BY THE FIRE ALARM SYSTEM

RECOMMENDED EQUIPMENT:

- ICE MACHINE AT VENDING
- SNACK MACHINE* - OPTIONAL
- SOFT DRINK MACHINE*

* SNACK MACHINE AND SOFT DRINK MACHINE ARE NOT REQUIRED AT THE GROUND FLOOR IF A SUITE SHOP IS PROVIDED

BOARD ROOM EQUIPMENT:

REFER TO STANDARDS FOR REQUIREMENTS

- | | |
|-----|-----------------------------------|
| 001 | "5 STAR BASE" CONFERENCE CHAIR |
| 002 | CONFERENCE TABLE |
| 003 | BASE CABINETS AND COUNTERTOP |
| 004 | WALL MOUNTED TELEVISION |
| 005 | TELEPHONE TABLE |
| 006 | LOUNGE CHAIR |
| 007 | ARTWORK |
| 008 | CEILING RECESSED PROJECTOR SCREEN |

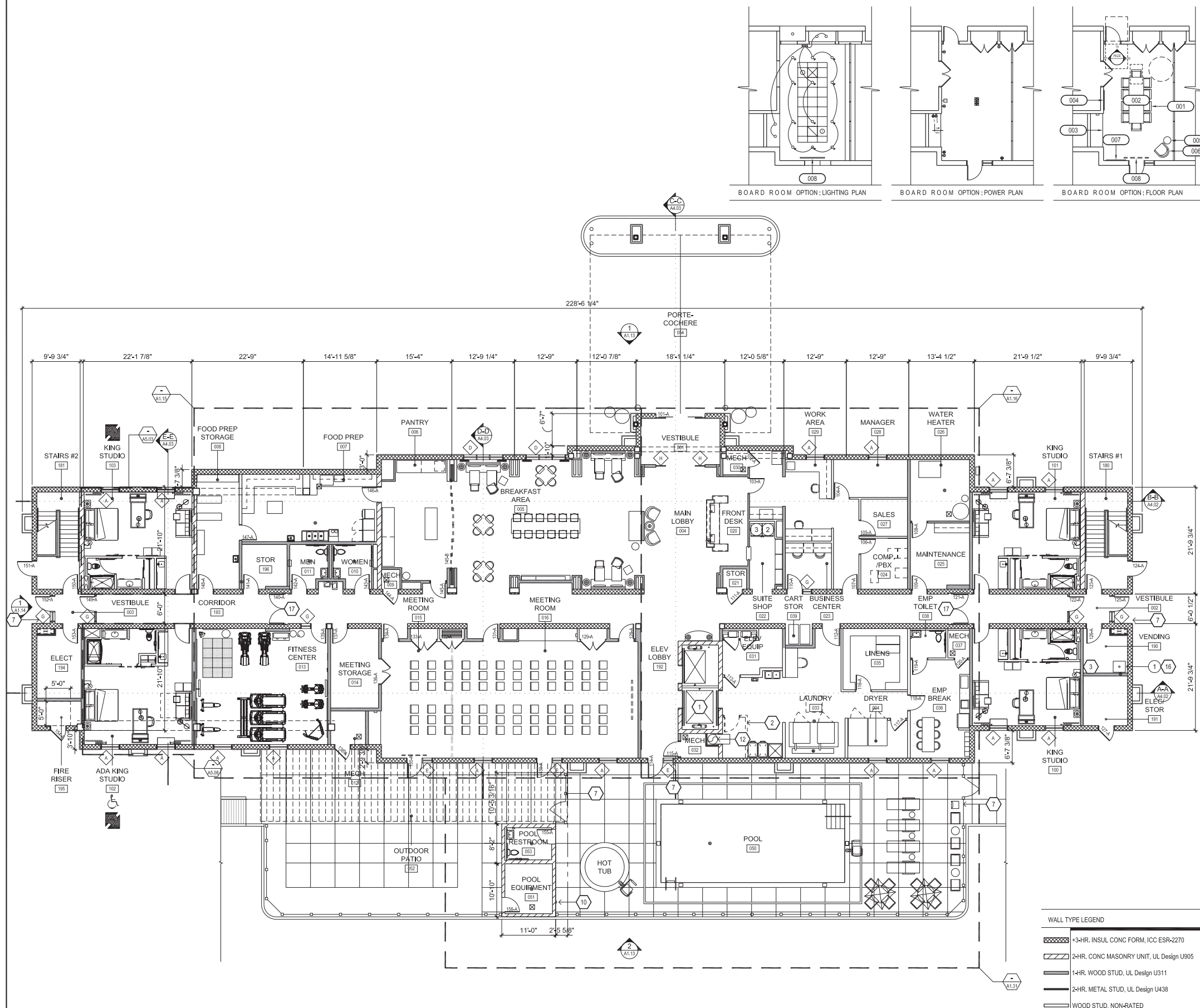
POWER / COMMUNICATIONS LEGEND:

- | | |
|--------------------------|--------------------------|
| WALL MOUNTED: | FLOOR MOUNTED: |
| ⊖ DUPLEX RECEPTACLE | ⊖ DUPLEX RECEPTACLE |
| ⊖ DUPLEX RECEPT. W/ GFCI | ⊖ DUPLEX RECEPT. W/ GFCI |
| ⊖ QUAD RECEPTACLE | ⊖ QUAD RECEPTACLE |
| ⊖ TELE / DATA OUTLET | ⊖ TELE / DATA OUTLET |
| ⊖ TELEVISION OUTLET | ⊖ SWITCH |
| ⊖ MAGNETIC HOLD OPEN | |

NOTE: DIMENSIONS NEXT TO RECEPTACLE INDICATE HEIGHT ABOVE FINISH FLOOR
NOTE: OUTLETS ARE TO BE INSTALLED AT 18" A.F.F. U.N.O.

GENERAL NOTES:

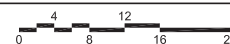
- REFER TO HAMPTON STANDARDS FOR FLOORING REQUIREMENTS IN EACH AREA
- ALL WALLS IN BATH SHALL BE MOISTURE RESISTANT GYPSUM BOARD. CEILING AT BATH SHALL BE EXTERIOR GYPSUM BOARD
- WALL CONSTRUCTION SHOWN FOR REFERENCE ONLY. DESIGNERS OF RECORD SHALL DETERMINE WALL CONSTRUCTION, STRUCTURES, METHOD OF STC COMPLIANCE, ETC.
- REFER TO **HADS** FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT
- REFER TO ACCESSIBILITY PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS

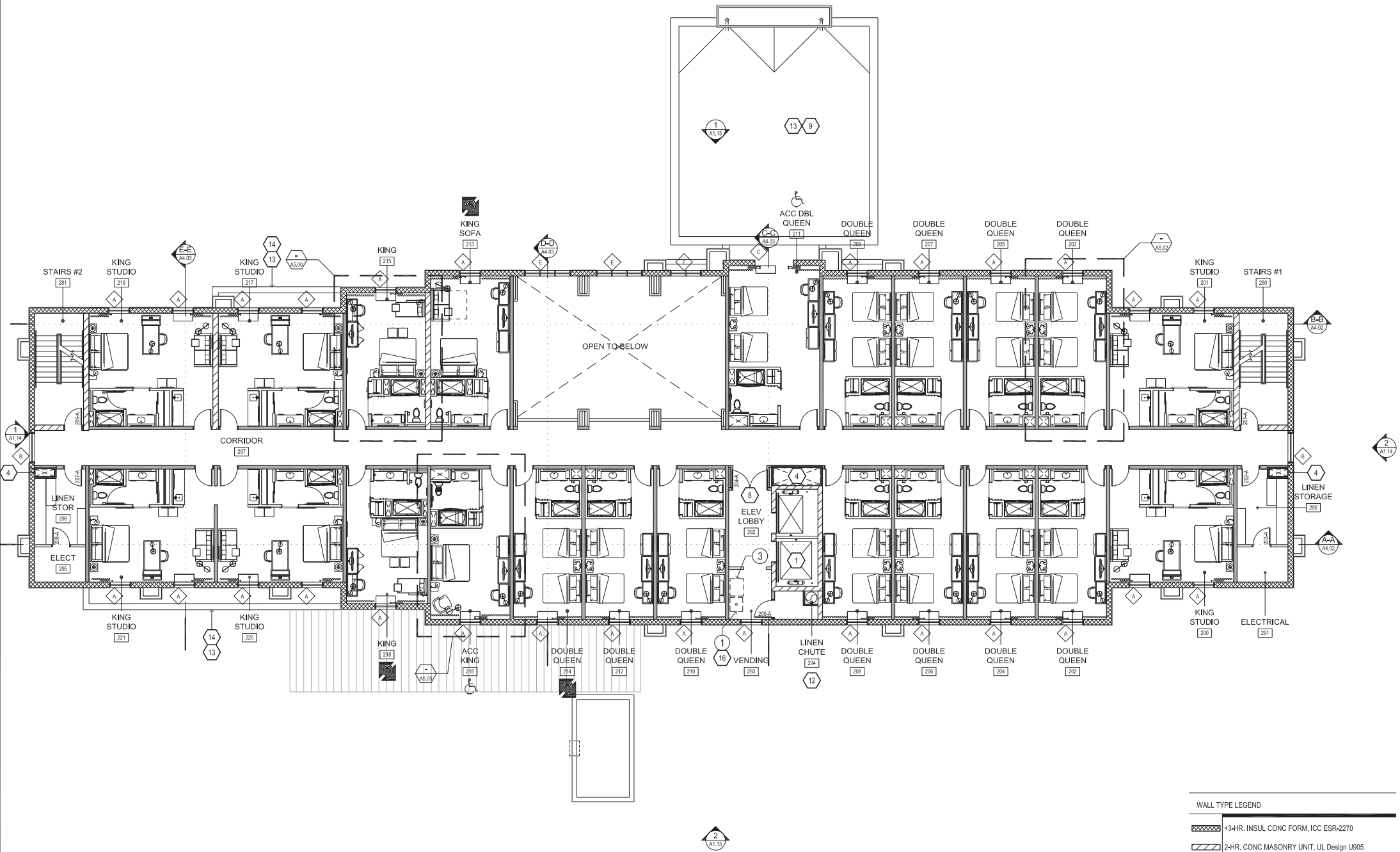


FLOOR PLAN - FIRST LEVEL

1/8" = 1'-0"

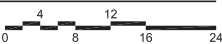
**DR14-16
Attachment 9: Floorplans (6 pages)
July 10, 2014**





FLOOR PLAN - SECOND LEVEL

1/8" = 1'-0"



WALL TYPE LEGEND	
	3-HR. INSUL CONC FORM, ICC ESR-2270
	2-HR. CONC MASONRY UNIT, UL Design U905
	1-HR. WOOD STUD, UL Design U311
	2-HR. METAL STUD, UL Design U438
	WOOD STUD, NON-RATED

- KEY NOTES:
- ONE ELEVATOR CAB SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND MUST ACCOMMODATE AN AMBULANCE STRETCHER
 - PROVIDE ENCLOSED ROOM FOR LINEN CHUTE WHEN REQUIRED BY CODE
 - HOUSE PHONE, LOCATED WITHIN ACCESSIBLE REACH RANGE, ON AN ACCESSIBLE ROUTE AND WITH CLEAR FLOOR SPACE FOR FRONT OR SIDE APPROACH, PHONE MUST BE EQUIPPED WITH VOLUME CONTROL AND A MIN. 28" LONG CORD.
 - POTENTIAL LOCATION FOR HVAC DUCT SHAFT
 - MEETING ROOM - OPTIONAL
 - ELEMENTS FOR OPTIONAL GUEST LAUNDRY SHOWN - PROVIDE INSULATED (IF ON UPPER FLOORS) FLOOR DRAIN ACCORDING TO LOCAL CODE - PROVIDE REQUIRED ACCESSIBLE EQUIPMENT, COUNTERS, STORAGE, HOUSE PHONE AND CLEAR FLOOR SPACES AT EACH LOCATION
 - CARD READER - MOUNTED WITHIN ACCESSIBLE REACH RANGE AND MUST BE ON AN ACCESSIBLE ROUTE AND HAVE CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH
 - ELEVATOR LOBBY DOORS REQUIRED IF BUILDING IS 4 STORIES OR MORE IN HEIGHT, OR AS REQ'D BY LOCAL CODE
 - PORTE COCHERE / VESTIBULE ROOF
 - POOL ROOF
 - INDOOR POOL EQUIPMENT ROOMS MAY NOT BE LOCATED BELOW GUEST ROOMS
 - LINEN CHUTE MUST HAVE SELF CLOSING AND SELF LOCKING DOORS.
 - REFER TO ROOF PLAN
 - PROVIDE CODE COMPLIANT OVERFLOW FOR THIS ROOF
 - ALTERNATING TREAD STAIR AND ROOF HATCH AT TOP FLOOR ONLY - REFER ALSO TO ROOF PLAN
 - PROVIDE INSULATED FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN (1/48 MAX - 1/64 RECOMMENDED).
 - DOOR AS REQUIRED BY LOCAL JURISDICTION - IF INSTALLED THEY MUST BE ON AUTOMATIC CLOSURES ACTIVATED BY THE FIRE ALARM SYSTEM

- RECOMMENDED EQUIPMENT:
- ICE MACHINE AT VENDING
 - SNACK MACHINE - OPTIONAL
 - SOFT DRINK MACHINE

- GENERAL NOTES:
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HAMPTON INN AND SUITES
1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

DR14-16 DRB
2ND SUBMITTAL

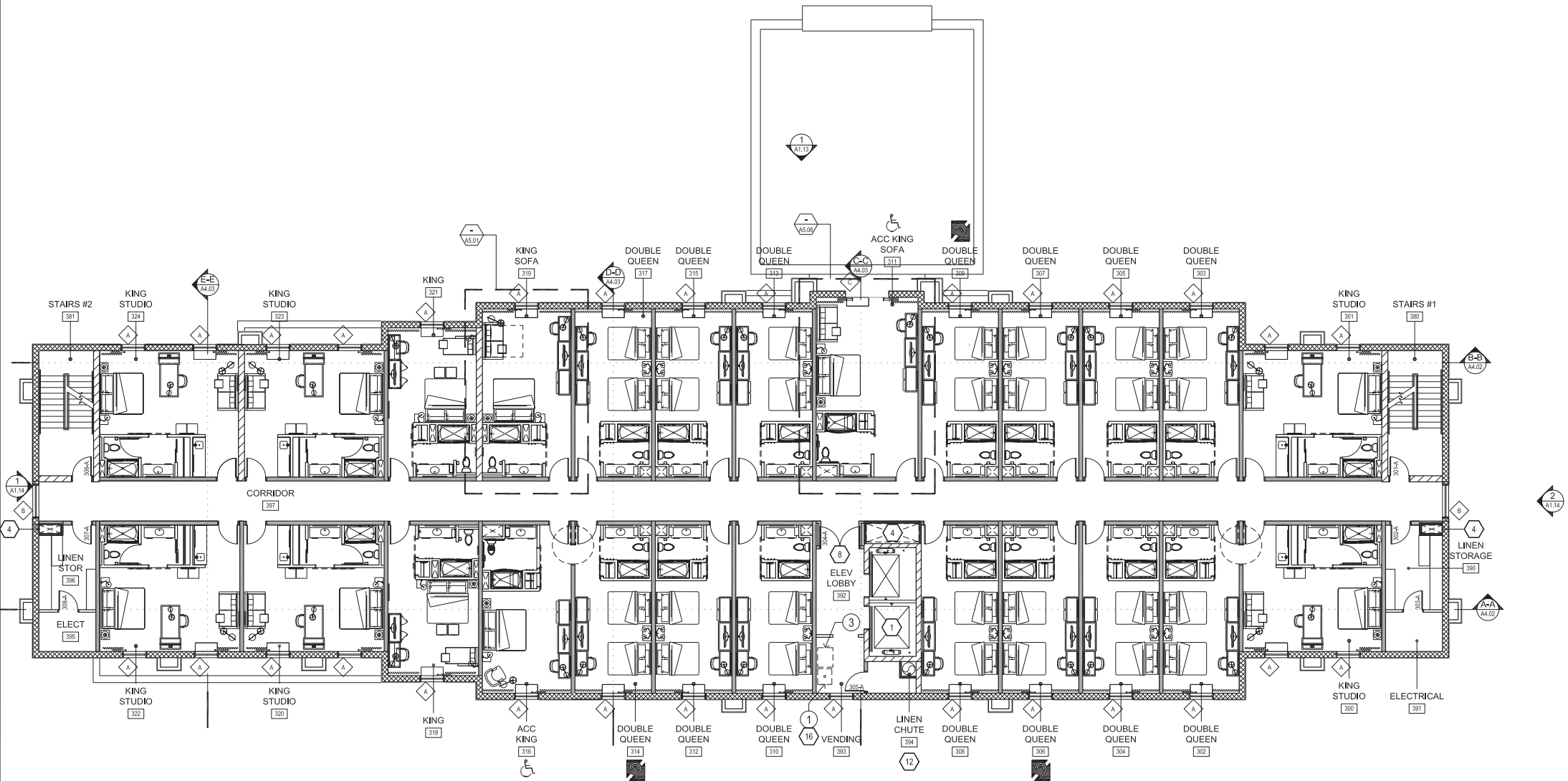
KEY:

PHOENIX EAST MESA, AZ
PROJECT NUMBER: 14-018
FACILITY I.D.: 47247
INN CODE: PHXEM

SHEET TITLE:
FLOOR PLAN
SECOND LEVEL

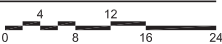
SHEET NUMBER:
A1.03

DESIGNED BY:	TM	REVIEWED BY:	NP
DATE:	6/23/2014	PROJECT NUMBER:	2013-23



FLOOR PLAN - THIRD LEVEL

1/8" = 1'-0"



WALL TYPE LEGEND	
	3-HR. INSUL CONC FORM, ICC ESR-2270
	2-HR. CONC MASONRY UNIT, UL Design U905
	1-HR. WOOD STUD, UL Design U311
	2-HR. METAL STUD, UL Design U438
	WOOD STUD, NON-RATED

- KEY NOTES:
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 - MEETING ROOM - OPTIONAL
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 - POOL ROOF
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 - PROVIDE INSULATED FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN (1/48 MAX - 1/64 RECOMMENDED).
 - DOOR AS REQUIRED BY LOCAL JURISDICTION - IF INSTALLED THEY MUST BE ON AUTOMATIC CLOSURES ACTIVATED BY THE FIRE ALARM SYSTEM

RECOMMENDED EQUIPMENT:

- ICE MACHINE AT VENDING
- SNACK MACHINE - OPTIONAL
- SOFT DRINK MACHINE

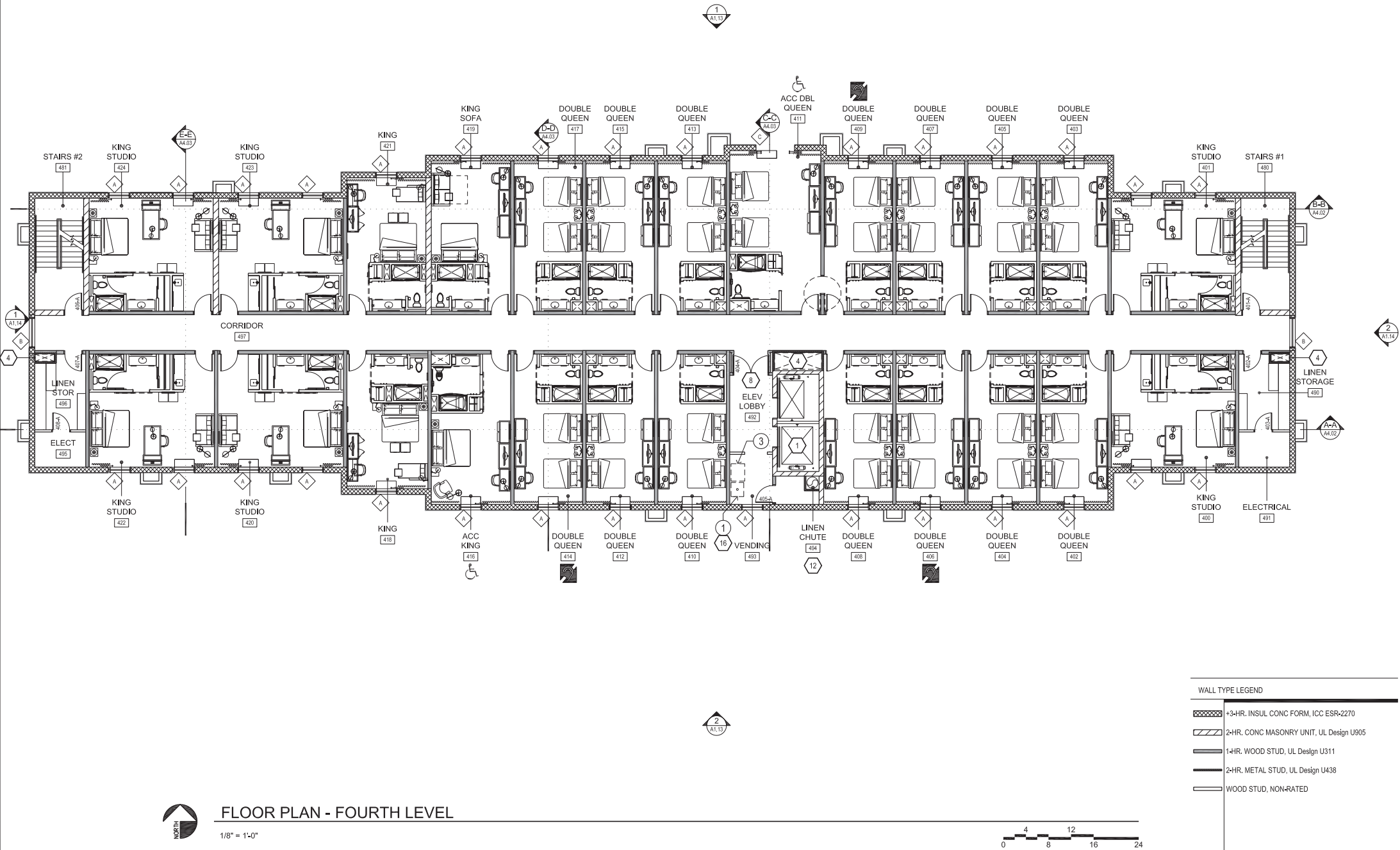
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 - REFER TO **HADS** FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT
 - REFER TO ACCESSIBILITY PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS



HAMPTON INN AND SUITES
1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

DR14-16 DRB
2ND SUBMITTAL

KEY:	
PHOENIX EAST MESA, AZ PROJECT NUMBER: 14-018 FACILITY I.D.: 47247 INN CODE: PHXEM	
SHEET TITLE:	
FLOOR PLAN THIRD LEVEL	
SHEET NUMBER:	
A1.04	
DRAWN BY:	REVIEWED BY:
TM	NP
DATE:	PROJECT NUMBER:
6/23/2014	2013-23



- KEY NOTES:
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 - ELEMENTS FOR OPTIONAL GUEST LAUNDRY SHOWN - PROVIDE INSULATED (IF ON UPPER FLOORS) FLOOR DRAIN ACCORDING TO LOCAL CODE - PROVIDE REQUIRED ACCESSIBLE EQUIPMENT, COUNTERS, STORAGE, HOUSE PHONE AND CLEAR FLOOR SPACES AT EACH LOCATION
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 - POOL ROOF
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 - LINEN CHUTE MUST HAVE SELF CLOSING AND SELF LOCKING DOORS.
 - REFER TO ROOF PLAN
 - PROVIDE CODE COMPLIANT OVERFLOW FOR THIS ROOF
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 - PROVIDE INSULATED FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN (1/4" MAX - 1/8" RECOMMENDED).
 - DOOR AS REQUIRED BY LOCAL JURISDICTION - IF INSTALLED THEY MUST BE ON AUTOMATIC CLOSURES ACTIVATED BY THE FIRE ALARM SYSTEM

- RECOMMENDED EQUIPMENT:
- ICE MACHINE AT VENDING
 - SNACK MACHINE - OPTIONAL
 - SOFT DRINK MACHINE

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HAMPTON INN AND SUITES
1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

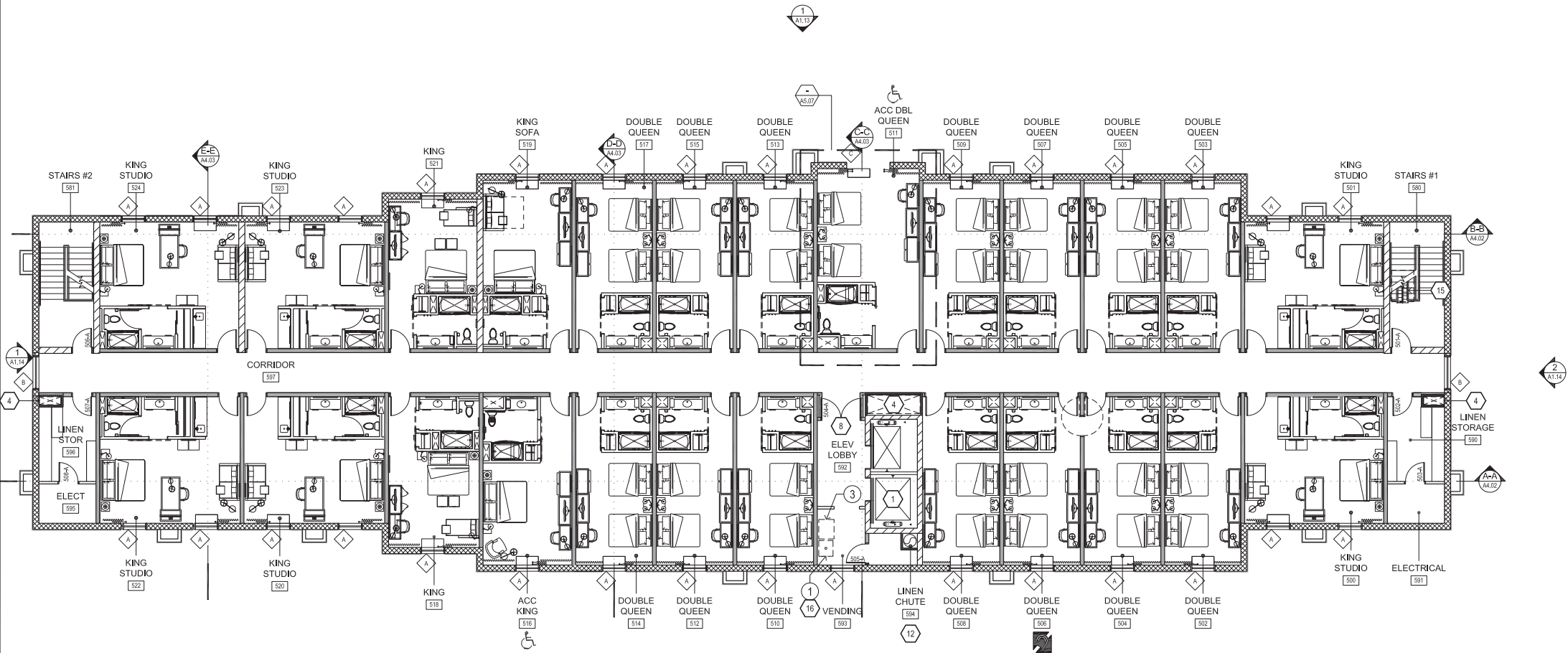
DR14-16 DRB
2ND SUBMITTAL

KEY:
PHOENIX EAST MESA, AZ
PROJECT NUMBER: 14-018
FACILITY I.D.: 47247
INN CODE: PHXEM

SHEET TITLE:
FLOOR PLAN
FOURTH LEVEL

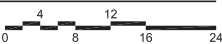
SHEET NUMBER:
A1.05

DRAWN BY: TM
DATE: 6/23/2014
REVIEWED BY: NP
PROJECT NUMBER: 2013-23



FLOOR PLAN - FIFTH LEVEL

1/8" = 1'-0"



WALL TYPE LEGEND	
	+3-HR. INSUL CONC FORM, ICC ESR-2270
	2-HR. CONC MASONRY UNIT, UL Design U905
	1-HR. WOOD STUD, UL Design U311
	2-HR. METAL STUD, UL Design U438
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- RECOMMENDED EQUIPMENT:
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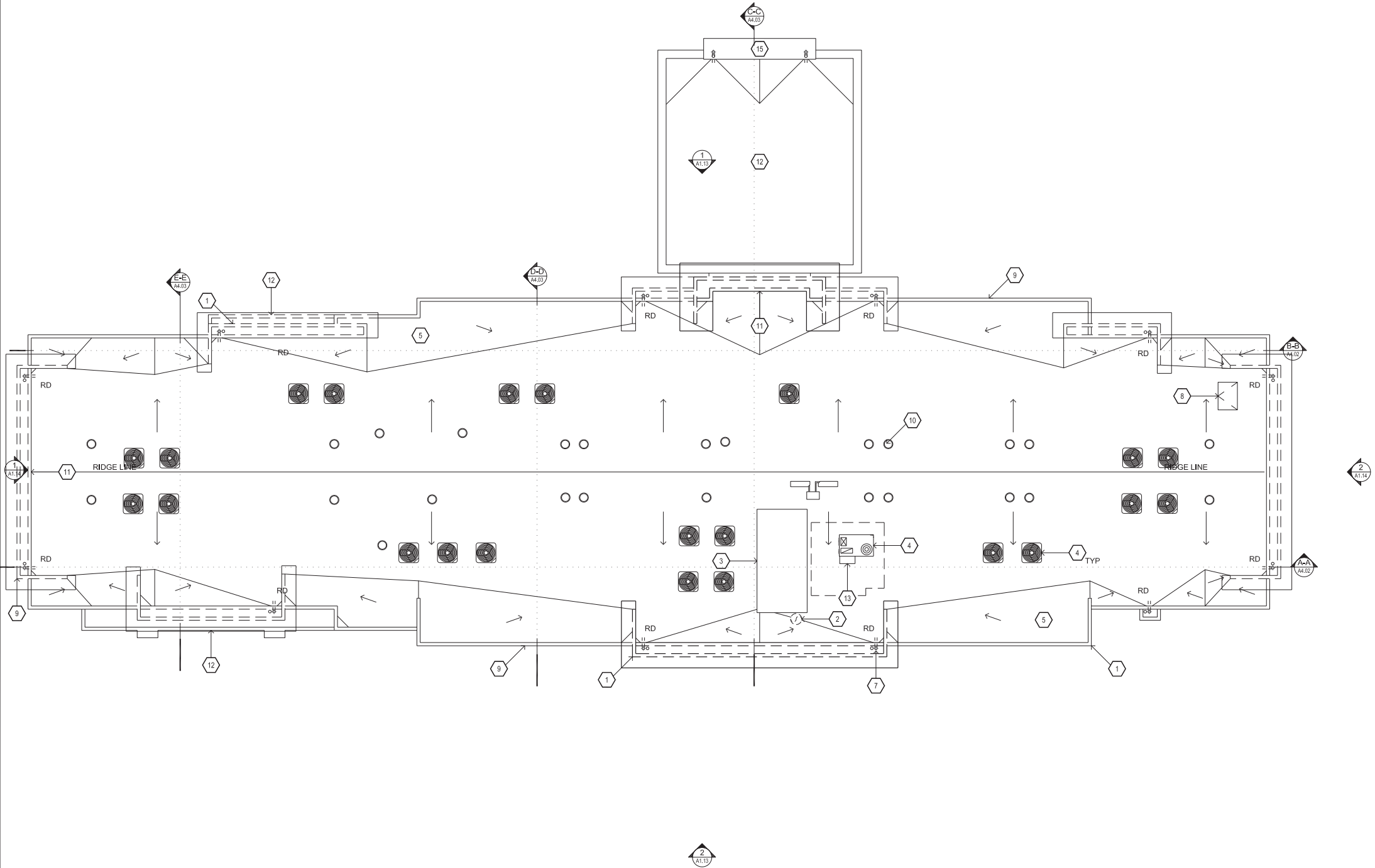
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 - REFER TO ACCESSIBILITY PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS



HAMPTON INN AND SUITES
1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

DR14-16 DRB
2ND SUBMITTAL

KEY:	
PHOENIX EAST MESA, AZ PROJECT NUMBER: 14-018 FACILITY I.D.: 47247 INN CODE: PHXEM	
SHEET TITLE:	
FLOOR PLAN FIFTH LEVEL	
SHEET NUMBER:	
A1.06	
DESIGNED BY:	TM
REVIEWED BY:	NP
DATE:	6/23/2014
PROJECT NUMBER:	2013-23



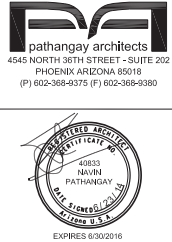
FLOOR PLAN - ROOF LEVEL

1/8" = 1'-0"



- KEY NOTES:
- CORNICE TO TURN 90 DEGREES TO BACK SIDE OF PARAPET BEFORE TERMINATING, (TYP)
 - LINEN CHUTE VENT
 - ELEVATOR PENTHOUSE - MUST BE SCREENED FROM VIEW. IF TALL ENOUGH TO BE VIEWED ABOVE PARAPETS, FACE WITH EIFS AND CORNICE TREATMENT TO MATCH PARAPET WALL. IF NOT, RUN ROOFING MEMBRANE UP AND OVER
 - ROOF-MOUNTED HVAC LOCATIONS
 - ROOF CRICKET, (TYP)
 - ROOF SCUPPER (RS), (TYP - DETAIL 1 / A4.00)
 - ROOF DRAIN (RD), (TYP)
 - ROOF HATCH TO BE MINIMUM 16 SQ. FT. (5'-0" X 3'-6" INDICATED) WITH ACCESS FROM ALTERNATING TREAD STAIR. REVIEW ALL APPLICABLE FEDERAL / LOCAL CODES TO VERIFY STAIR DOES NOT NEED TO EXTEND TO THE ROOF
 - LINE OF WALL BELOW FOR REFERENCE, (TYP)
 - EXHAUST FAN, (TYP)
 - PROVIDE ACCESS DOOR FOR SIGNAGE LIGHTING
 - ROOF BELOW
 - HVAC EQUIPMENT INTAKE LOCATION
 - PARAPET KICKER w/ ROOF MEMBRANE - REFER TO SECTION
 - FLAT ROOF ABOVE SMOKING AREA

- GENERAL NOTES:
- ROOF DRAINAGE IS SHOWN FOR GENERAL INFORMATION ONLY. ACTUAL ROOF DRAINAGE SYSTEM TO BE DESIGNED BY ENGINEER OF RECORD
 - ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS, CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS
 - KEEP ROOF MOUNTED EQUIPMENT AWAY FROM ROOF EDGES TO REDUCE SIGHT LINES
 - (IF APPLICABLE) PROVIDE CONDUIT FROM PBX TO ROOF FOR H.I.B.S. SATELLITE DISH ON SEPARATE CIRCUIT. PROVIDE POWER ON ROOF EDGE FOR HEATER WHEN REQUIRED



HAMPTON INN AND SUITES
1825 NORTH HIGLEY ROAD
GILBERT, ARIZONA

DR14-16 DRB
2ND SUBMITTAL

KEY:	
PHOENIX EAST MESA, AZ PROJECT NUMBER: 14-018 FACILITY I.D.: 47247 INN CODE: PHXEM	
SHEET TITLE:	
FLOOR PLAN ROOF LEVEL	
SHEET NUMBER:	
A1.07	
DRAWN BY:	REVIEWED BY:
TM	NP
DATE:	PROJECT NUMBER:
6/23/2014	2013-23

KEY:

SHEET TITLE:

SHEET NUMBER

DRAWN BY:

DRAWN BY:	REVIEWED BY:
DATE:	DATE:

DATE: _____









PROJECT NUMBER
00000000

6/23/2014

2013-2

1. POOL ENTRY HANDRAIL AND LADDER SHALL BE 1-1/2" DIA STAINLESS STEEL
2. SLOPE POOL DECK TOWARD DRAIN. SLOPE OF POOL DECK NOT TO EXCEED 1:48 (1/54 RECOMMENDED) IN EITHER DIRECTION. PER ACCESSIBILITY REQUIREMENTS FOR POOL DECK, DRAIN TRETTING AND GRATING TO ALLOW ACCESSIBLE TRAVEL OVER DRAIN IN EACH DIRECTION. OPENINGS MUST BE LESS THAN 1/2"
3. POOL DEPTH/DIVING MARKERS AS REQUIRED BY CODE. INSET FLUSH WITH POOL COPING. DECK LOCATION ALSO INDICATES CORRESPONDING POOL COPING LOCATION. POOL CONTRACTOR TO VERIFY POOL COPING PRIOR TO TREATING TILES
4. POOL COPING AT POOL PERIMETER
5. STAIR ENTRY TO POOL TO COMPLY WITH LOCAL CODES AN EMERGENCY HOUSE PHONE OR BUTTION MUST BE PROVIDED AT THE POOL. MOUNT WITHIN ACCESSIBLE REACH RANGE. PHONE MUST BE EQUIPPED WITH VOLUME CONTROL
6. POOL LOCATION TO COMPLY W/ ACCESSIBILITY REQUIREMENTS - LOCATE WHERE WATER IS NO DEEPER THAN 4'-0". REFER TO **HADG** FOR FURTHER INFORMATION
7. UNDERWATER LIGHT - WATTAGE PER LOCAL CODE POOL DECK MINIMUM FINISH: BROOM FINISH CONCRETE WITH CONTROL JOINTS AT 5' CENTERS
8. FENCE 6" RECESSED HOE SPIB - MOUNT TOP AT 12" A.F.F.
9. LOCATION OF WHIRLPOOL. SPA UNIT, ADDITIONAL DECK SPACE MUST BE PROVIDED FOR ACCESS AND SEATING. SPA AND DECK MUST MEET ACCESSIBILITY REQUIREMENTS. REFER TO **HADG** AND HAMPTON STANDARDS.
10. AREA TO MAINTAIN MOVABLE FURNITURE SO AS TO PROVIDE ACCESSIBLE GUEST ACCESS TO THIS AREA.
11. SWIMMING POOL ACCESSIBLE WALKWAY - SLOPE NOT TO EXCEED 1:48 (1/54 RECOMMENDED).
12. POOL CLOTHING CLOSET IN THIS LOCATION. EVERYTHING IN THIS CLOSET TO BE RATED CORROSIVE ENVIRONMENTS (DOOR, FRAME, HARDWARE, PIPE SUPPORTS, SHELVES, LIGHTS, ETC.)
13. LADDER
14. FENCE POSTS TO BE SECURED TO DECK-REFER TO DETAILS
15. NOT USED
16. POOL PERIMETER FENCE AS REQUIRED CODE W/ 3'-0" GATE
17. 4"X4" POST WITH CAP ANCHORED TO DECK SIMILAR TO FENCE POSTS
18. SITE LIGHTING BASIS OF DESIGN: LITHONIA MRP LED, 120V, SR4 TYPE IV, FINISH TO MATCH GENERAL SITE LIGHTING
19. TRASH CAN
20. POOL DRAIN
21. HAVE CONSTRUCTION OF EQUIPMENT BUILDING TO HAVE SIMILAR FINISH OF MAIN HOTEL - REFER TO HAMPTON STANDARD
22. POOL FF&E - REFER TO HAMPTON STANDARDS

POWER LEGEND:

WALL MOUNTED:	FLOOR MOUNTED:
 DUPLEX RECEPTACLE	 DUPLEX RECEPTACLE
 DUPLEX RECEPT. W/ GFCI	
 QUAD RECEPTACLE	 QUAD RECEPTACLE
 TELE / DATA OUTLET	 TELE / DATA OUTLET
 TELEVISION OUTLET	

NOTE: DIMENSIONS NEXT TO RECEPTACLE INDICATE
HEIGHT ABOVE FINISH FLOOR

NOTE: OUTLETS ARE PROVIDED AT 18" A.F.F. U.N.O.

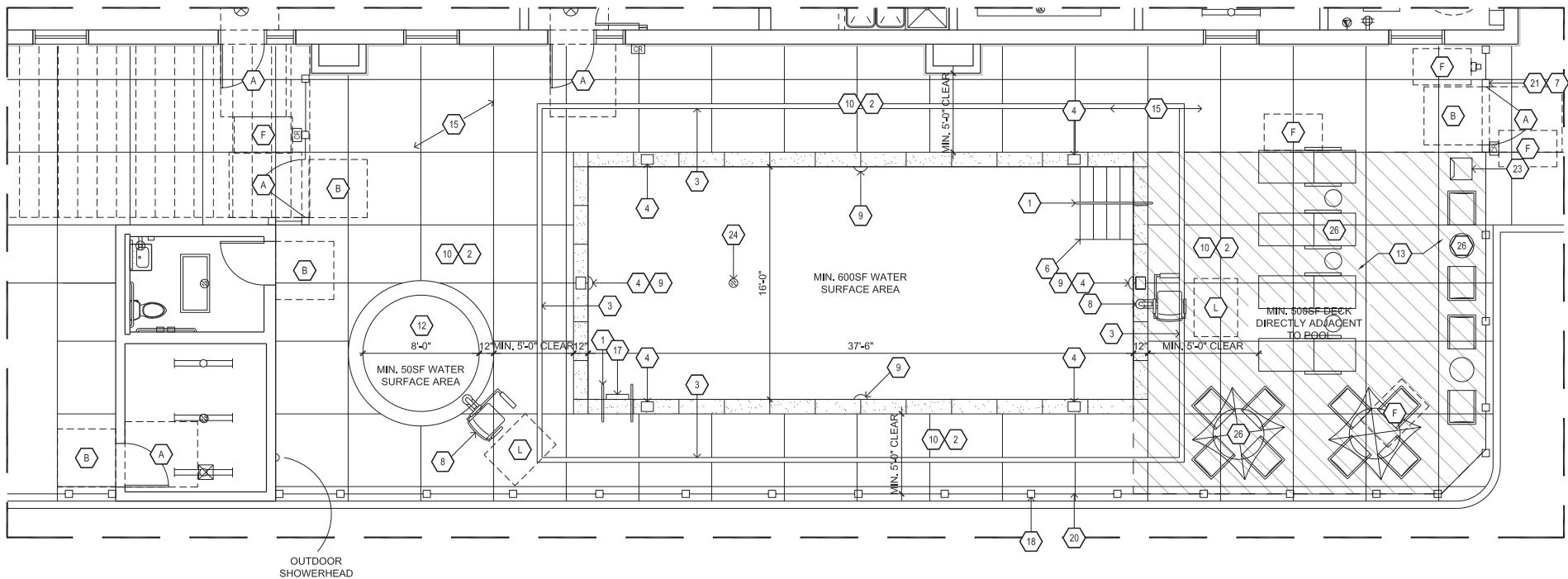
GENERAL NOTES:

1. THE POOL DRAWINGS & RELATED SPECS. ARE TO BE CONSIDERED AS MINIMUM REQUIREMENTS WHICH MAY CHANGE AS A RESULT OF STATE OR LOCAL CODE & HEALTH DEPARTMENT REQUIREMENTS. THE DESIGNER OF RECORD, G.C., & POOL CONTRACTOR ARE RESPONSIBLE FOR THE IMPLEMENTATION OF ALL APPLICABLE CODES ASSOCIATED WITH THE CONSTRUCTION TECHNIQUE OF THE POOL AREA & THE POOL EQUIPMENT ROOM.
2. REFER TO HAMPTON STANDARDS FOR FLOORING OR DECK REQUIREMENTS IN EACH AREA
3. CONTROLS FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 42" AFF AND 152" AFF AND PROVIDE AN ACCESSIBLE 30"MIN X 48"MIN CLEAR FLOOR SPACE. OPERABLE CONTROLS LOCATED OVER AN OBSTRUCTION THAT IS DEEPER THAN 10" MUST BE MOUNTED NO HIGHER THAN 46" AFF. ACCESSIBLE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST
4. ANY PORTION OF WALL SCONCE OR OTHER OBJECT THAT PROJECTS INTO THE CIRCULATION PATH ABOVE 27" OR BELOW 80" IS LIMITED TO A 4" MAXIMUM PROJECTION
5. ALL PHONES INTENDED FOR GUEST USE MUST BE EQUIPPED WITH VOLUME CONTROL AND A CORD THAT IS 28" LONG MINIMUM
6. FENCING IS REQUIRED AROUND ALL EXTERIOR SWIMMING POOL AREAS. TOP RAIL MUST BE ROUNDED. EXPOSED FINIALS AND EXPOSED ENDS OF PICKETS ARE NOT PERMITTED. HEIGHT OF FENCING MUST MEET LOCAL HEALTH CODE REQUIREMENTS. ALL SWIMMING POOL GATES MUST BE SELF-CLOSING AND SELF-LATCHING.

SEE ACCESSIBLE LEGEND ON ACCESSIBILITY
PLANS SHEET FOR ADDITIONAL KEYNOTE REFERENCES

DATE: _____

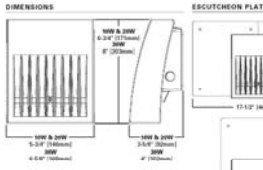
6/23/2014


$$1/4'' = 1'-0''$$

DR14-16
Attachment 10: Enlarged Pool
Area and Site Details
July 10, 2014

DESCRIPTION
The patent pending Lumarx Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall surfaces, inverted mount for faceted canopy illumination, postholster, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, streets and loading docks.

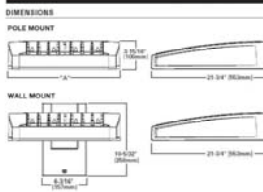
SPECIFICATION FEATURES
Construction
Slim, low-profile LED design with rugged one-piece, die-cast and back box. Matching housing style incorporates both a small and large design. The small housing is available in 10W and 20W. The large housing is available in the 30W model. Patent pending secure lock hinge features allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3/16" x 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the luminaire surface. One-piece silicone gasket seals door and back box. Minimum 8" wide pole for site lighting application. Not recommended for car wash applications.



Cooper Lighting
by **IES**

DESCRIPTION
The GLEON™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP68 rated.

SPECIFICATION FEATURES
Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-duty, die-cast aluminum and caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional heat less hardware available for ease of entry into electrical chamber. Housing is IP68 rated.



DIMENSION DATA

Mounting	Light Squares	W" Width	H" Height	W" Mounting Arm Length	H" Mounting Arm Length	Weight with Arm (Lbs.)	Wt. with Arm (Lbs.)
1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5

Cooper Lighting
by **IES**

LUMARK

Order #	Type
Project	
Comments	
Prepared by	

XTOR CROSSTOUR LED

APPLICATION:
WALL / SURFACE
POST / BOLLARD
FLOODLIGHT
REARVIEW
SITE LIGHTING

CERTIFICATION DATA
UL1881, UL1882, UL1883, UL1884, UL1885, UL1886, UL1887, UL1888, UL1889, UL1890, UL1891, UL1892, UL1893, UL1894, UL1895, UL1896, UL1897, UL1898, UL1899, UL1900, UL1901, UL1902, UL1903, UL1904, UL1905, UL1906, UL1907, UL1908, UL1909, UL1910, UL1911, UL1912, UL1913, UL1914, UL1915, UL1916, UL1917, UL1918, UL1919, UL1920, UL1921, UL1922, UL1923, UL1924, UL1925, UL1926, UL1927, UL1928, UL1929, UL1930, UL1931, UL1932, UL1933, UL1934, UL1935, UL1936, UL1937, UL1938, UL1939, UL1940, UL1941, UL1942, UL1943, UL1944, UL1945, UL1946, UL1947, UL1948, UL1949, UL1950, UL1951, UL1952, UL1953, UL1954, UL1955, UL1956, UL1957, UL1958, UL1959, UL1960, UL1961, UL1962, UL1963, UL1964, UL1965, UL1966, UL1967, UL1968, UL1969, UL1970, UL1971, UL1972, UL1973, UL1974, UL1975, UL1976, UL1977, UL1978, UL1979, UL1980, UL1981, UL1982, UL1983, UL1984, UL1985, UL1986, UL1987, UL1988, UL1989, UL1990, UL1991, UL1992, UL1993, UL1994, UL1995, UL1996, UL1997, UL1998, UL1999, UL2000, UL2001, UL2002, UL2003, UL2004, UL2005, 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here.





Hampton Inn & Suites

1231

Guest
Parking





Hampton
Suites

